

## ORDINARY MEETING OF COUNCIL TO BE HELD TUESDAY 28 APRIL 2015

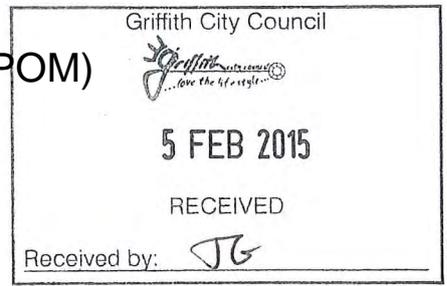
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### DA 19/2015 – SUBDIVISION OF LAND INTO THREE LOTS, ERECTION OF A BUILDING AND USE AS A BROTHEL

#### ATTACHMENTS

(a) Applicant's Submission	
Plan of Management .....	01
Statement of Environmental Effects .....	17
Social Impact Assessment .....	26
Plans .....	42
(b) Locality Plan .....	49
(c) Objections .....	50
(d) NSW Police Crime Risk Assessment– Confidential for Councillors Only	
(e) Applicant's Response to Objections .....	70

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (POM)



# PLAN OF MANAGEMENT

PROPOSED BROTHEL

36-38 COLLIER STREET, GRIFFITH

<b>1</b>	<b>INTRODUCTION</b>	<b>1</b>
1.1	CONTEXT OF POM	1
1.2	POM OBJECTIVES	1
<b>2</b>	<b>BUSINESS DETAILS</b>	<b>2</b>
2.1	TRADING NAME	2
2.2	CONTACT DETAILS	2
<b>3</b>	<b>RELEVANT GUIDING POLICIES</b>	<b>3</b>
3.1	CRIME PREVENTION AND ASSESSMENT OF DEVELOPMENT APPLICATIONS	3
3.1.1	SURVEILLANCE	3
3.1.2	ACCESS CONTROL	3
3.1.3	TERRITORIAL REINFORCEMENT	4
3.1.4	SPACE MANAGEMENT	4
3.2	WORKCOVER HEALTH & SAFETY GUIDELINES FOR BROTHELS GUIDE 2001	4
<b>4</b>	<b>SAFETY AND SECURITY</b>	<b>5</b>
4.1	OBJECTIVES	5
4.2	ACTIONS	5
4.3	PERFORMANCE INDICATORS	5
<b>5</b>	<b>INDUCTION AND TRAINING</b>	<b>6</b>
5.1	OBJECTIVES	6
5.2	ACTIONS	6
5.3	PERFORMANCE INDICATORS	6
<b>6</b>	<b>HEALTH ACCESS</b>	<b>7</b>
6.1	OBJECTIVES	7
6.2	ACTIONS	7
6.3	PERFORMANCE INDICATORS	7
<b>7</b>	<b>CLEANING AND CLEANLINESS</b>	<b>8</b>
7.1	OBJECTIVES	8
7.2	ACTIONS	8
7.3	PERFORMANCE INDICATORS	8
<b>8</b>	<b>WASTE</b>	<b>9</b>
8.1	OBJECTIVES	9
8.2	ACTIONS	9
8.3	PERFORMANCE INDICATORS	9

<b>9</b>	<b><u>EQUIPMENT</u></b>	<b><u>10</u></b>
9.1	OBJECTIVES	10
9.2	ACTIONS	10
9.3	PERFORMANCE INDICATORS	10
<b>10</b>	<b><u>LINEN AND MATTRESSES</u></b>	<b><u>11</u></b>
10.1	OBJECTIVES	11
10.2	ACTIONS	11
10.3	PERFORMANCE INDICATORS	11
<b>11</b>	<b><u>HEALTH OF STAFF AND VISITORS</u></b>	<b><u>12</u></b>
11.1	OBJECTIVES	12
11.2	ACTIONS	12
11.3	PERFORMANCE INDICATORS	12
<b>12</b>	<b><u>MONITORING AND REVIEW</u></b>	<b><u>13</u></b>

## 1 INTRODUCTION

This Plan of Management (POM) has been prepared for a proposal by Griffith Escort Girls Pty Ltd to establish a Brothel at 36-38 Collier Street Griffith NSW.

This POM supplements information provided in the development application to Griffith City Council and identifies the ways in which the premises will operate in compliance with anticipated conditions of consent.

Additionally, the POM can be used by the operator to outline roles and responsibilities and identify procedures for the successful operation and management of the premises.

### 1.1 CONTEXT OF THE POM

Griffith City Council's Policy No.CS-CP-308 requires a POM to accompany a development application to Council for consideration. This POM has been prepared in accordance with that Policy.

### 1.2 POM OBJECTIVES

The objectives of the POM are to satisfactorily demonstrate:

- That the proposed venue will operate in an acceptable way;
- That employees of the venue will be managed in an acceptable way;
- That the roles and responsibilities of operating the venue are clearly identified; and
- That risk management and security principles are included in the operational management of the venue.

## 2 BUSINESS DETAILS

### 2.1 TRADING NAME

The registered trading name of the proposed brothel is anticipated to be 'Griffith Escort Girls'.

The business' trading name will be confirmed should development consent be granted and the proposed brothel proceeds.

### 2.2 CONTACT DETAILS

The following contact details will be confirmed should development consent be granted and the proposed brothel proceed.

**Postal address:**

Griffith Escort Girls  
38 Collier Street  
Griffith NSW 2680

**Physical address:**

Griffith Escort Girls  
38 Collier Street  
Griffith NSW 2680

**Contact telephone number:**

Ph: 02 \_\_\_\_ \_\_\_\_ (to be confirmed prior to operation)

Mobile: \_\_\_\_ \_\_\_\_ \_\_\_\_ (to be confirmed prior to operation)

### 3 RELEVANT GUIDING POLICIES

#### 3.1 CRIME PREVENTION AND ASSESSMENT OF DEVELOPMENT APPLICATIONS

In 2001, the NSW Department of Planning introduced guidelines against which development applications could be assessed against in an attempt reduce crime opportunities through effective design.

When considering development applications Councils must consider the application under section 79C of the Environmental Planning and Assessment Act 1979, including subsections relating to the likely impact of the development on the environment, socially and economically, as well as the public interest. It is against these criteria that crime prevention is to be assessed.

Part B of the Guidelines detail four principles that need to be used in the assessment of development applications and they are referred to below in relation to the proposed premises.

##### 3.1.1 SURVEILLANCE

*The attractiveness of crime targets can be reduced by providing opportunities for effective surveillance, both natural and technical.*

The proposed premises will be serviced by a security member of staff and equipped with security cameras therefore providing excellent security coverage. The building has been designed to not include any internal foyer areas or any other potential entrapment zones.

##### 3.1.2 ACCESS CONTROL

*Physical and symbolic barriers can be used to attract, channel or restrict the movement of people.*

The proposed premises can be accessed only by controlled means. The gateway into the carpark and doors into the bedrooms will be able to be unlocked from the inside and/or remotely unlatched for clients wishing to enter the building.

### 3.1.3 TERRITORIAL REINFORCEMENT

*Community ownership of public space sends positive signals. People often feel comfortable in, and are more likely to visit, places which feel owned and cared for.*

The proposed premises will be maintained to a high standard both within the building as well as around the building.

### 3.1.4 SPACE MANAGEMENT

*Linked to the principle of territorial reinforcement, space management ensures that space is appropriately utilised and well cared for.*

All areas that will be accessible to the public will be maintained to a high quality.

## 3.2 WORKCOVER HEALTH AND SAFETY GUIDELINES FOR BROTHELS GUIDE 2001

Arising from a collaboration between NSW Health and WorkCover NSW, these guidelines were first developed in 1997. Under NSW workplace health and safety legislation, brothel proprietors have certain duties with regard to employees, sub-contractors and other visitors in the workplace.

The WorkCover guidelines have been considered and incorporated into this POM.

## 4 SAFETY AND SECURITY

### 4.1 OBJECTIVES

- Ensure risk management procedures are appropriate to the service provisions.
- Detail the role of security personnel.
- Outline the procedures for the safe handling of money.

### 4.2 ACTIONS

- Access to the premises shall be secure and controlled. Security cameras will be erected in the external driveway area and in the car parking area next to the building.
- The design of the working rooms shall include the non-provision of working room door locks from the staff/security room into the bedrooms and communication methods such as an intercom or similar device that link with the security member of staff.
- Duress alarms shall be provided in the bedrooms.
- Areas used exclusively by workers shall be secure and controlled.
- Security members of staff shall be identifiable at all times.
- Staff are trained in the use of duress alarms and have access to a phone in the event of an emergency.
- Minimal cash will be kept on the premises.

### 4.3 PERFORMANCE INDICATORS

- Safety and security incidents relating to the public or workers do not occur.
- Staff are aware of the facilities in place to assist them should they be under unacceptable duress at any time.

## 5 INDUCTION AND TRAINING

### 5.1 OBJECTIVES

- Ensure that staff are trained in all aspects of the venues operation as is necessary.

### 5.2 ACTIONS

- Staff are familiarised with the premises' facilities & procedures upon employment.
- Staff are trained in needle-stick injury and the handling & disposal of sharps, and the location of sharps containers.
- Staff are trained in the need to examine clients for visible evidence of sexually transmissible infections. Adequate luminance shall be provided throughout the premises at a minimum lux of 320lx.
- Safe sex and sexually transmitted infection information must be easily accessible and visible to all visitors.
- Staff are made aware of information on and health practices regarding sexually transmissible infections.

### 5.3 PERFORMANCE INDICATORS

- Staff are aware of all facilities provided in the premises and can enact relevant procedures.
- A training register is maintained for all workers detailing how they have undertaken the required training.

## **6 HEALTH ACCESS**

### **6.1 OBJECTIVES**

- Appropriate access arrangements are to be in place for the attendance of health service providers and other relevant inspection officers.

### **6.2 ACTIONS**

- The operator of the venue shall have in place a regime of regular inspections by the local relevant health services provider.
- Access shall be provided to the venue for the appropriate local authority staff that are required to undertake inspections of the facility.
- Staff are informed through their induction process of the relevant local health services providers.

### **6.3 PERFORMANCE INDICATORS**

- Access is provided to the relevant people.
- There are no complaints made to the local authority over inadequate access being provided to the venue.

## 7 CLEANING AND CLEANLINESS

### 7.1 OBJECTIVES

- To ensure that the premises are kept in a clean state at all times.
- To ensure that the venue is in an adequate state of repair at all times.

### 7.2 ACTIONS

- Storage space shall be provided for both soiled and clean linen, and safe sex equipment.
- All surfaces shall be able to be washed and wiped clean with disinfectant.
- The premises shall be cleaned thoroughly at least weekly.
- Spot cleaning shall be undertaken by staff as required.
- All linen shall be replaced after use with clean linen.
- All surfaces shall be inspected after use and disinfected prior to use.
- All showers and toilets shall be cleaned and disinfected with hospital grade disinfectant at regular intervals during the opening hours of the venue.
- Cleaning sinks, in addition to the staff room and client facilities shall be provided.
- Pump action soap dispensers shall be provided for all hand-wash basins and showers.
- Single use towels, linen and hand towels are to be provided.
- Appropriate cleaning equipment is to be provided on site including mops, sponges and buckets.

### 7.3 PERFORMANCE INDICATORS

- The venue is maintained in a clean manner.
- There are no complaints made to the local authority regarding the cleanliness of the venue.

## **8 WASTE**

### **8.1 OBJECTIVES**

- Waste is managed and disposed of in appropriate ways.

### **8.2 ACTIONS**

- Adequate provision for waste shall be provided for on-site. All waste containers shall have installed disposable plastic liners.
- Appropriate disposal units and sharps containers shall be provided for in toilets and staff room.
- Waste containers shall be stored out of public view.
- Disposal of waste shall be arranged through a licensed waste contractor.

### **8.3 PERFORMANCE INDICATORS**

- The venue is maintained in a clean manner and all waste is disposed of appropriately.
- There are no complaints made to the local authority regarding waste.

## 9 EQUIPMENT

### 9.1 OBJECTIVES

- Required equipment is stored, accessible and maintained in the appropriate ways.

### 9.2 ACTIONS

- An adequate supply of safe sex products are to be stored away from heat or light but are accessible to both staff and clients.
- Staff are to be well informed of the need for safe sex and the use safe sex products.
- Safe sex products shall be checked by staff regularly and prior to use to ensure that they have not passed their expiry date or been tampered with.
- Sex toys are not to be shared between workers, and are to be cleaned, and scrubbed with neutral detergent and disinfected after use. Condoms shall be used to cover the sex toys for each partner.
- Cleaning removable contaminated equipment should be undertaken in the cleaning room.

### 9.3 PERFORMANCE INDICATORS

- Equipment is accessible and clean when provided.
- Good safe sex practices are implemented at the venue.
- The risk of transferring sexually transmissible diseases is eliminated.

## 10 LINEN AND MATTRESSES

### 10.1 OBJECTIVES

- Adequate measures are put in place to ensure the appropriate provision, storage and cleaning of linen and mattresses.

### 10.2 ACTIONS

- Storage space must be provided for both soiled and clean linen.
- Clean linen and towels are to be provided for the use of each client.
- All linen and towels that come into contact with clients or staff must be changed immediately after use.
- Should any contact or contamination from body fluids occur, affected bed linen must be changed.
- Visual inspections of unchanged bed linen shall occur after each use.
- All mattresses contaminated by body fluids must be changed. Alternatively mattresses can be fitted with washable non-permeable mattress covers.
- Used and clean linen must be stored separately so as to avoid cross-contamination.
- Towels and linen is to be laundered after use.

### 10.3 PERFORMANCE INDICATORS

- Adequate measures are put in place to ensure the appropriate provision, storage and cleaning of linen and mattresses.
- There are no complaints made to the local authority regarding the inappropriate management of linen and mattresses.

## 11 HEALTH OF STAFF AND VISITORS

### 11.1 OBJECTIVES

- To ensure the continuing good health of sex workers.

### 11.2 ACTIONS

- Working conditions will be in accordance with the relevant Industrial Relations legislation.
- Authorised persons from WorkCover NSW, Sex Workers NSW, Sex Workers Outreach Project (SWOP), NSW Health and Local Government.
- Workers are to be immunised against Hepatitis A and B.
- Workers are to regularly attend a sexual health centre or private doctor for sexual health assessment, counselling and education appropriate to individual needs.
- There will be no impediment to workers taking time off for health reasons.
- The manager of the premises will be responsible for eliminating potentially abusive situations, violence or intimidation from the workplace.
- First aid kits will be provided on site and stored in a central, accessible and convenient location known to all employees.

### 11.3 PERFORMANCE INDICATORS

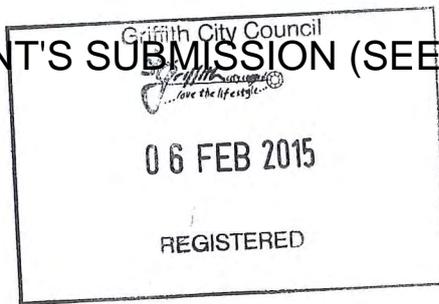
- Workers are satisfied with the working conditions of their workplace.

## **12 MONITORING AND REVIEW**

This POM shall be reviewed on an annual basis by the business manager.

Compliance with the POM shall be recorded in a register to be kept on the premises and completed on a weekly basis by the manager. Non compliances shall be rectified and made good immediately.

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (SEE)



## STATEMENT OF ENVIRONMENTAL EFFECTS

PROPOSED BROTHEL

36-38 COLLIER STREET, GRIFFITH

<b>1</b>	<b>DESCRIPTION OF THE PROPOSAL</b>	<b>1</b>
1.1	THE PROPONENT	1
1.2	THE SITE	1
1.3	THE PROPOSAL	2
<b>2</b>	<b>BUSINESS DETAILS</b>	<b>2</b>
2.1	TRADING HOURS	2
2.2	EMPLOYEES	2
2.3	CUSTOMERS	2
2.4	SIGNAGE	3
2.5	CLEANING	3
2.6	NEWSPAPER ADVERTISEMENTS RELATING TO THE BUSINESS	3
2.7	BUSINESS OPERATION	3
2.8	WASTE	4
2.9	SECURITY	4
<b>3</b>	<b>PLANNING LEGISLATION</b>	<b>5</b>
3.1	GRIFFITH LOCAL ENVIRONMENTAL PLAN 2014	5
3.2	GRIFFITH DEVELOPMENT CONTROL PLAN NO.3	5
3.3	GRIFFITH DEVELOPMENT CONTROL PLAN NO.20	6
3.4	GRIFFITH DEVELOPMENT CONTROL PLAN NO.25	6
3.5	GRIFFITH RESTRICTED PREMISES & BROTHELS POLICY	6
3.5.1	LOCALITY	6
3.5.2	DESIGN AND DEVELOPMENT CONTROLS	6
3.5.3	NOTIFICATION AND CONSULTATION	7

## 1 DESCRIPTION OF THE PROPOSAL

### 1.1 THE PROPONENT

The proponent is: Griffith Escort Girls Pty Ltd (ABN: 68 603 117 960).

### 1.2 THE SITE

The site is known as Lot 1 in Deposited Plan No. 1071858 and has a street address of 36-38 Collier Street Griffith NSW. The subject site is located at the junction between Collier Street and Hams Street within the Mooreville Industrial Estate, as marked in the diagram below.



Industrial buildings are located at the western end of the site. The eastern end of the site is vacant. A portion of sealed roadway that appears to be a cul-de-sac is located at the far eastern end of the site. This roadway forms part of the site and is not a Council road even though it used to be used by people dropping off goods to be recycled at the business that operates from Lot 2 in Deposited Plan No.1071858. The aerial photo below shows the extent of land uses that surround the site.



### 1.3 THE PROPOSAL

The proposal relates to the construction/placement of three buildings that will be joined together to form one building and used for the purposes of a brothel in the north eastern corner of Lot 1 in Deposited Plan No.1071858. The building will comprise two bedrooms to service customers and one interconnecting staff room. The bedrooms will have a walk in robe, a bedroom and a bathroom. The staff room will have a kitchen, dining and living area.

Access to each bedroom by customers will be from the main carpark via the porch. Access to each bedroom by staff will be from the staff room and from the main carpark via the porch.

Access to the staff room by staff will be from each of the bedrooms and a sliding door on the northern side of the building that is away from the carpark. Access to the staff room by customers will be restricted.

The proposal includes the subdivision of the site into three allotments to provide for the brothel to be located on its own allotment. Access to the allotment will be gained off Collier Street. If adjoining Lot 2 in Deposited Plan No.1198089 is purchased by the landowner of Lot 1 in Deposited Plan No.1071858, Part Lot C of Lot 2 in Deposited Plan No.1198089 may be consolidated with proposed Part Lot C of Lot 1 in Deposited Plan No.1071858, as shown on the subdivision layout plan.

## 2 BUSINESS DETAILS

### 2.1 TRADING HOURS

The business intends to operate twenty four hours a day seven days a week. Busy periods will mostly be during the evening and early hours of the morning but it is intended to operate the business day and night if demand exists.

### 2.2 EMPLOYEES

The business will employ up to six staff comprising: 1 x receptionist/cleaner; 1 x security staff; and up to 4 x prostitutes operating at one point in time.

The number of staff employed at the premises will be less than six during quieter times.

### 2.3 CUSTOMERS

No more than two customers will be at the site at any point in time.

Customers will normally be on the site for around an hour.

A gap of around 20 to 30 minutes will normally occur between one customer leaving the site and another arriving.

## 2.4 SIGNAGE

No more than one sign will be erected at the entrance to the driveway off Collier Street. This sign will only identify the street address. Another sign displaying the street address and a contact phone number may be erected next to the gateway at the end of the driveway. Both of these signs may be illuminated.

## 2.5 CLEANING

The bedrooms will be cleaned and the linen removed for washing after each customer leaves the site. Washing/laundrying may be undertaken both at the site and off site. A clothes line can be erected on the northern side of the building.

## 2.6 NEWSPAPER ADVERTISEMENTS RELATING TO THE BUSINESS

It is proposed to advertise operation of the business in the Public Notices/Classifieds section of local newspapers. Advertisements will most likely be listed under the Escorts section of the newspaper and will make reference to a street address and a contact telephone number. Advertisements may also indicate the business name and other information relating to the types of services offered.

## 2.7 BUSINESS OPERATION

Customers will contact the business and make a booking date and time. Customers will be directed to either drive to the site and park in the carpark on the southern side of the building or be delivered by a taxi and dropped off in the carpark. Customers will be discouraged from walking to and from the site and parking in Collier Street, Hams Street or other surrounding street and walking to the site. Customers will be advised which bedroom number they have been allocated and directed to proceed straight to that bedroom's entry porch and door.

Customers will enter the bedroom, be explained the service and required to bath/shower upon entering the bedroom. Customers will normally be on the site for around an hour. A gap of around 20 to 30 minutes will normally occur between a customer leaving the site and another arriving. At the conclusion of the service customers will leave the bedroom via the front door and porch next to the carpark.

## 2.8 WASTE

The business will generate a minor amount of solid waste to be disposed of via either Council's kerb-side collection service or by a contractor. Recyclable materials can be disposed of via Council's kerb-side recycling service. The business will not generate any liquid waste apart from wastewater associated with normal bathing, showering, washing.

Waste will be stored in containers located around the back on the northern side of the building or out of public view.

## 2.9 SECURITY

The premises will be fenced on all sides. A security gate may be fitted across the driveway next to the carpark. Fencing and the gate will not be transparent or enable looking through and may be constructed using colorbond® panels. Vehicles wanting to gain access to the carpark through the gate may be required to phone reception to enable the gate to be opened if it is closed or not attended. The premises street address and contact number will be displayed next to the gateway.

The business will employ at least one security person during operating hours. This person will be based in the staff room. Security cameras may be installed in the carpark, along the driveway and at the site's entrance off Collier Street.

The business will keep minimal cash on the premises at any point in time.

Lighting will be provided around the building and in the carpark. Lighting is not proposed at the site's entrance off Collier Street or along the driveway leading up to the gates. Outside lighting may be fitted with sensors and will be positioned so that it doesn't affect neighbouring properties.

The site is located in Griffith's Mooreville industrial area. There are not anticipated to be any significant security issues associated with operation of the business during daylight hours. Because the Mooreville industrial area will be otherwise vacant during the night time and early morning periods, the security person will patrol the building and outside areas to ensure the safety of staff and customers.

Customers will drive to the site or be dropped off by a taxi which will reduce the potential for them to be approached by other parties walking to or from the site.

### 3 PLANNING LEGISLATION

#### 3.1 GRIFFITH LOCAL ENVIRONMENTAL PLAN 2014

The site is within Griffith's General Industrial zoning known as IN1. Brothels are defined as a type of sex services premises and are permitted with consent in the IN1 zone. The proposal does not restrict the objectives for land zoned IN1.

The proposal does not involve any subdivision.

The proposal does not involve the removal of any trees.

The site is not heritage listed.

#### 3.2 GRIFFITH DEVELOPMENT CONTROL PLAN NO.3

The building has been setback from boundaries and fences.

Landscaping will be provided in the carpark.

A six metre wide driveway is proposed.

Eight parking spaces will be provided.

The building will not be visible from Collier Street.

The building will be constructed using colorbond® cladding.

Waste generated by the business can be managed.

The business will not cause any air pollution.

The business will not cause any noise pollution.

The business will not generate any liquid trade waste.

The business can enter into an agreement for waste discharge with Council.

Landscaping around the carpark is shown on the site plan.

### 3.3 GRIFFITH DEVELOPMENT CONTROL PLAN NO.20

The building has been setback from boundaries and fences.

Landscaping will be provided in the carpark.

Eight parking spaces will be provided even though only four spaces are required.

The carpark will only be used by the business' staff, customers and visitors.

The carpark has been design to comply with Council's parking requirements.

A truck loading bay will not be provided.

Bus and coach parking will not be provided.

Parking for motorbikes will not be provided because they can park in the car spaces.

The driveway and carpark will be sealed.

Landscaping near the carpark is shown on the site plan.

Lighting will be provided in the carpark.

### 3.4 GRIFFITH DEVELOPMENT CONTROL PLAN NO.25

The proposed development will be notified to the landowners of surrounding properties by Council.

### 3.5 GRIFFITH RESTRICTED PREMISES & BROTHELS POLICY

#### 3.5.1 LOCALITY

The site is not located within 200m of a residential dwelling or a residential zone.

The site is not located within 200m of a place of worship, school, community facility, child care centre, hospital or a place likely to visited by children.

The business will not be located in an arcade or a thoroughfare open to the public or be used by the public.

#### 3.5.2 DESIGN AND DEVELOPMENT CONTROLS

No internal rooms or spaces will be visible from a public place, street or adjoining premises.

The building will not be used as a dwelling.

No more than one sign will be erected at the entrance to the driveway off Collier Street. This sign will only relate to the street address. Another sign displaying the

street address and a contact phone number may be erected next to the gateway at the end of the driveway. Both of these signs may be illuminated.

No objects, products or goods relating to the business will be visible from outside the premises.

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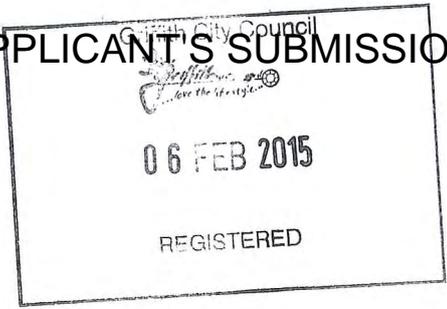
### 3.5.3 NOTIFICATION AND CONSULTATION

Council staff advised that they will notify the NSW Police licensing officer in Griffith and the landowners of surrounding properties about the proposal.

The proposal is not located near any residences, places of worship or in a locality frequented by children. The business will not have any signage apart from the street address. The premises will not be easily identifiable as a brothel.

The business can comply with Workcover NSW's Health and Safety Guidelines for Brothels (2001), NSW Crime Prevention through Environmental Design Guidelines (2001) and the NSW Communicable Diseases Health and Safety Guidelines for Sex on Premises Venues (2002).

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (SIA)



# SOCIAL IMPACT ASSESSMENT

PROPOSED BROTHEL

36-38 COLLIER STREET, GRIFFITH

<b>1</b>	<b>INTRODUCTION</b>	<b>1</b>
<b>2</b>	<b><u>SCOPE OF WORKS</u></b>	<b>2</b>
<b>3</b>	<b><u>THE PROCESS</u></b>	<b>2</b>
<b>4</b>	<b><u>GRIFFITH LOCAL GOVERNMENT AREA – AN OVERVIEW</u></b>	<b>3</b>
4.1	GRIFFITH POPULATION CHARACTERISTICS	3
4.1.1	AGE DISTRIBUTION	4
4.1.2	LABOUR FORCE CHARACTERISTICS	4
4.1.3	OCCUPATION	4
4.1.4	INDUSTRY OF EMPLOYMENT	5
4.1.5	INCOME	5
4.1.6	DWELLING CHARACTERISTICS	6
4.1.7	MARITAL STATUS	6
4.2	LOCAL AREA POPULATION CHARACTERISTICS	6
4.3	SUMMARY OF POPULATION CHARACTERISTICS	9
<b>5</b>	<b>LAND USE CHARACTERISITCS</b>	<b>10</b>
<b>6</b>	<b>CONSULTATION</b>	<b>11</b>
<b>7</b>	<b>SOCIAL IMPACT ASSESSMENT</b>	<b>12</b>
7.1	POPULATION CHARACTERISTICS	12
7.2	STRUCTURE, CHARACTER AND BELIEFS	12
7.3	SAFETY	12
7.4	SENSE OF PLACE AND COMMUNITY	13
<b>8</b>	<b>CONCLUSION</b>	<b>14</b>

## 1 INTRODUCTION

This social impact assessment has been prepared in relation to a proposed brothel located on Lot 1 in Deposited Plan No.1071858, 36-38 Collier Street, Griffith.

Industrial buildings are located at the western end of the site. The eastern end of the site is vacant. A portion of sealed roadway that appears to be a cul-de-sac is located at the far eastern end of the site. This roadway forms part of the site and is not a Council road even though it used to be used by people dropping off goods to be recycled at the business that operates from Lot 2 in Deposited Plan No.1071858.

The subject site is located at the junction between Collier Street and Hams Street within the Mooreville Industrial Estate, as marked in the diagram below.



The area is characterised by industrial and rural supply uses. The aerial photo below shows the extent of industrial and rural supply land uses that surround the subject site.



## 2 SCOPE OF WORKS

This social impact assessment has been prepared to:

1. consider similar existing services and facilities in the locality.
2. consider the cumulative impact of similar facilities in the locality.
3. report on the incidence of crime and anti-social behaviour for the city of Griffith as well as the locality around the subject site.
4. provide recommendations into the design and development of the proposal using 'Safer by Design' principles.

## 3 THE PROCESS

A social impact assessment is needed to assist in determining the scale of change that might arise as a result of a development. Such change can be both positive and negative and may be not only desirable or undesirable, but intentional or unintentional. It is important to indicate how impacts may or may not be experienced by different people in different parts of a community.

Areas of assessment under a social impact assessment should include:

- An overview of the locality's population and the changes that may or may not result from the development. An understanding of the structure and characteristics of the community should be demonstrated.
- An assessment on quality of life, health and safety and whether there would be any impact on income levels and cost of living.
- An assessment of how a development may impact on a sense of place and community, as well as the capacity and threshold of services to meet any identified needs.

An understanding of the LGA is required before an assessment of impacts can be made.

## 4 GRIFFITH LOCAL GOVERNMENT AREA – AN OVERVIEW

Griffith was established in 1916 as part of the New South Wales State Government's Murrumbidgee Irrigation Area (MIA) project to supply irrigation from the Murrumbidgee River in western New South Wales to be used for farming. The main dam was the large Burrinjuck Dam between Gundagai and Canberra, which stored water to be released down the river for irrigation. Yanco Weir, near Leeton, was built across the Murrumbidgee, from which flows the Main Canal. The Canal, almost a river in its own right, flows through the MIA to Griffith supplying water to the entire area and petering out to the northwest of the city in rice farms.

From the start of the MIA, citrus and other fruit and vegetables were grown in abundance around Griffith. In the 1950s the irrigation area expanded to include large rice farms. Vineyards were established early, and wineries followed, beginning with McWilliams wines at Hanwood and Yenda, two villages just outside the city.

From its earliest days, the MIA was populated by Italian workers, some of whom were initially employed by Australian farmers to run steamboats on the Murrumbidgee and Murray Rivers. Approximately 60% of today's Griffith population claim Italian background. These include the initial settlement of Italians from the boat crews and other Italians who came out to Australia in the Depression, or from a second wave of immigrant Italians who came to Griffith in the late 1950s and early 1960s.

Griffith has experienced strong commercial growth in recent years. Griffith's main streets are Banna Avenue and Yambil Streets but commercial growth has occurred throughout the city. Griffith is home to the Riverina's largest employer, the Baiada Group. Griffith is also the base for several other well-known business such as DeBortoli Wines, McWilliams Wines, Casella Family Brands (makers of Yellowtail wine); and the Real Juice Company.

### 4.1 GRIFFITH POPULATION CHARACTERISTICS

Based on data drawn from the Australian Bureau of Statistics (ABS), an overview of the population characteristic of Griffith is provided before a more detailed analysis of the identified development area is undertaken. The purpose of this is to assist, compare, contrast and analyse the population impacts of the community where the development is proposed to occur.

#### 4.1.1 AGE DISTRIBUTION

	Griffith LGA	%	Griffith Urban Area	%
0-4 years	1806	7.4%	1353	7.6%
5-14 years	3675	15.1%	2563	14.3%
15-24 years	3195	13.1%	2440	13.6%
25-54 years	9570	39.3%	6449	38.8%
55-64 years	2644	10.9%	1856	10.4%
65 years and over	3472	14.2%	2739	15.3%
Median age of persons	36	-	35	-

#### 4.1.2 LABOUR FORCE CHARACTERISTICS

Statistics are for that section of the population aged 15 years and over.

	Griffith LGA	%	Griffith Urban Area	%
Total labour force (includes employed and unemployed persons)	11794	-	8370	-
Employed full-time	7138	60.5%	5009	59.9%
Employed part-time	3310	28.1%	2345	28.0%
Employed away from work	447	3.8%	556	6.6%
Employed hours not stated	320	2.7%	229	3.1%
Unemployed	579	4.9%	460	5.5%
Not in the labour force	5714	-	4460	-

#### 4.1.3 OCCUPATION

Statistics are for that section of the population aged 15 years and over.

	Griffith LGA	%		Griffith Urban Area	%
Managers	1968	17.9%	Labourers	1393	18.0%
Labourers	1861	16.9%	Technicians and Trades Workers	1134	14.6%
Technicians and Trades Workers	1559	14.2%	Managers	1076	13.9%
Professionals	1403	12.7%	Professionals	1063	13.7%
Clerical and Administrative Workers	1391	12.6%	Clerical and Administrative Workers	996	12.8%
Sales Workers	1228	11.2%	Sales Workers	900	11.6%
Community and Personal Service Workers	846	7.7%	Community and Personal Service Workers	658	8.5%
Machinery Operators And Drivers	752	6.8%	Machinery Operators And Drivers	531	6.9%

#### 4.1.4 INDUSTRY OF EMPLOYMENT

Statistics are for that section of the population aged 15 years and over.

	Griffith LGA	%		Griffith Urban Area	%
Agriculture, forestry & fishing	1031	16.9%	Agriculture, forestry & fishing	436	10.3%
Mining	19	0.3%	Mining	17	0.4%
Manufacturing	1413	23.2%	Manufacturing	1014	23.9%
Electricity, gas, water & waste services	157	2.6%	Electricity, gas, water & waste services	111	2.6%
Construction	638	10.5%	Construction	489	11.5%
Wholesale trade	326	5.3%	Wholesale trade	233	5.5%
Retail trade	580	9.5%	Retail trade	453	10.7%
Accommodation & food services	219	3.6%	Accommodation & food services	187	4.4%
Transport, postal & warehousing	251	4.1%	Transport, postal & warehousing	168	4.0%
Information media & telecommunications	39	0.6%	Information media & telecommunications	29	0.7%
Financial & insurance services	71	1.2%	Financial & insurance services	57	1.3%
Rental, hiring & real estate services	66	1.1%	Rental, hiring & real estate services	45	1.1%
Professional, scientific & technical services	159	2.6%	Professional, scientific & technical services	112	2.6%
Administrative & support services	100	1.6%	Administrative & support services	71	1.7%
Public administration & safety	248	4.1%	Public administration & safety	199	4.7%
Education & training	153	2.5%	Education & training	125	3.0%
Health care & social services	154	2.5%	Health care & social services	139	3.3%
Arts & recreational services	40	0.7%	Arts & recreational services	25	0.6%
Other services	265	4.3%	Other services	191	4.5%
Inadequately described/not stated	171	2.8%	Inadequately described/not stated	135	3.2%

#### 4.1.5 INCOME

Statistics are for that section of the population aged 15 years and over.

	Griffith LGA	Griffith Urban Area
Median individual income (\$/weekly)	531	527
Median household income (\$/weekly)	1065	1028
Median family income (\$/weekly)	1288	1255

#### 4.1.6 DWELLING CHARACTERISTICS

Statistics include 'visitor only' and other not classifiable households.

	Griffith LGA	%	Griffith Urban Area	%
Total private dwellings (includes unoccupied private dwellings)	9460	-	6954	-
Occupied private dwellings:	8452	-	6270	-
Separate house	7289	86.2%	5170	82.5%
Semi-detached, row or terrace house, townhouse etc	521	6.2%	501	8.0%
Flat, unit or apartment	585	6.9%	559	8.9%
Other dwellings	57	0.7%	40	0.6%
Not stated	0	0.0%	0	0.0%

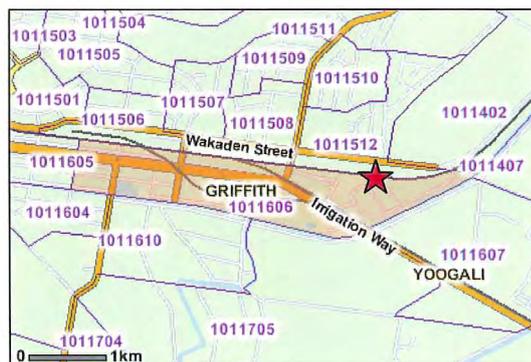
#### 4.1.7 MARITAL STATUS

Statistics are for that section of the population aged 15 years and over.

	Griffith LGA	%	Griffith Urban Area	%
Married	10139	53.7%	7194	51.4%
Never married	5810	30.8%	4473	32.0%
Separated or divorced	1703	9.0%	1310	9.4%
Widowed	1228	6.5%	1011	7.2%

#### 4.2 LOCAL AREA POPULATION CHARACTERISTICS

The subject site is situated at the eastern edge of the Griffith CBD and industrial areas within Collector District 1011606 (see map below).

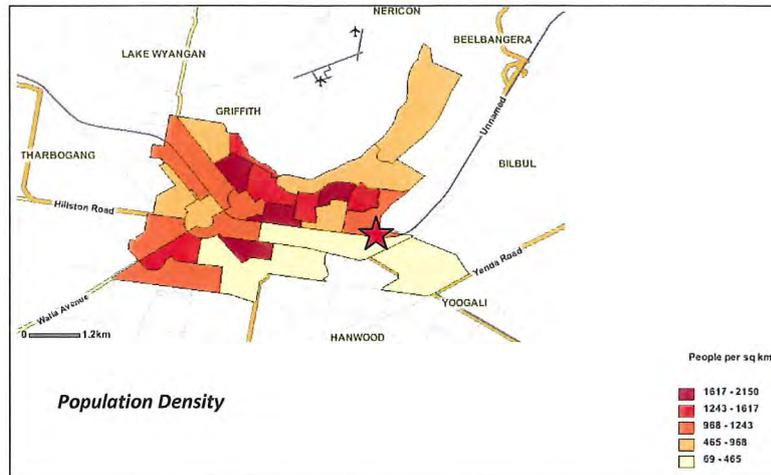


Collector District 1011606 revealed the following statistics at the 2006 Census.

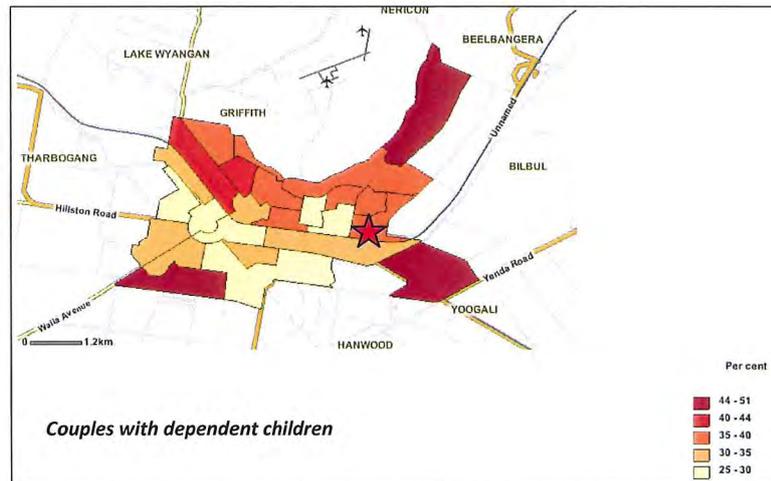
- Small population of only 90 people, 63% males, 37% females;
- Only 75% of the 36 private dwellings in the district were occupied.

These statistics alone highlight the characteristics of the locality. The area surrounding the proposed brothel is industrial in nature, adjoining other commercial and industrial areas within the city business district. There are very few people who actually reside in the locality.

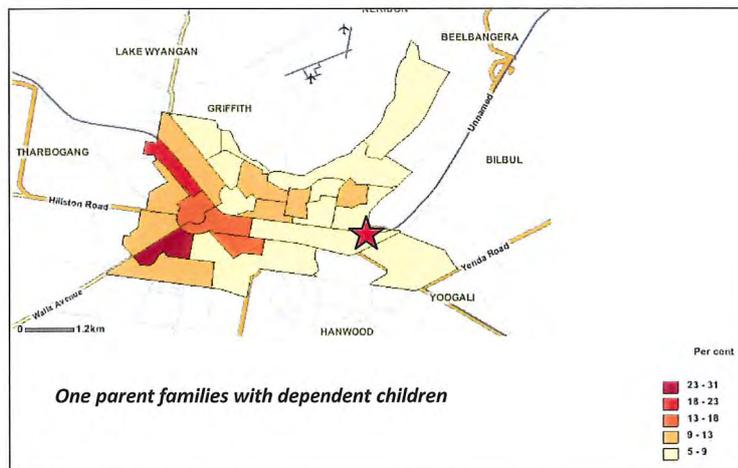
The thematic map below illustrates the population density within the Griffith urban area. The proposed development is situated within one of the least dense areas of Griffith. Again, the absence of any population density within the vicinity of the subject site is noted.



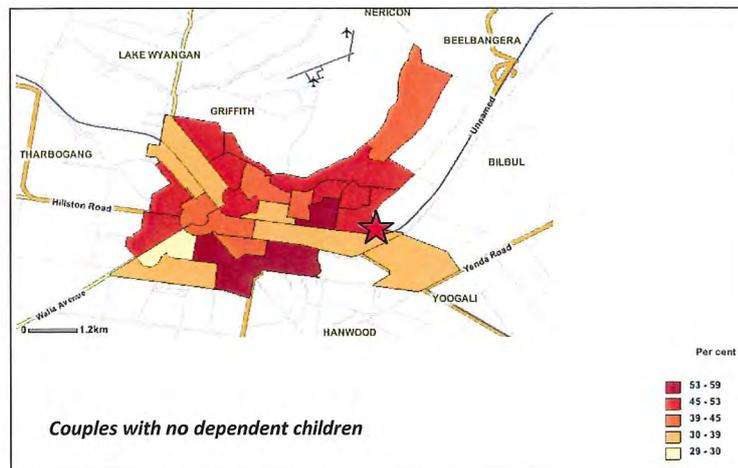
As highlighted in the thematic below, a large percentage of couples with dependent children live within the population of collector districts adjacent to that within which the brothel is proposed. Whilst this percentage may be high, it is important to note the low density of the population and the significant physical barrier of the main road into Griffith from the west which ensures that the area within which the proposed development is situated is not readily accessible.



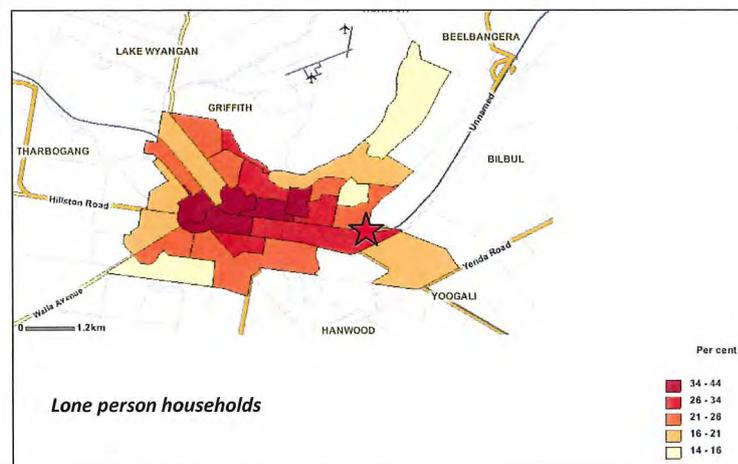
The thematic below further impresses this point by illustrating that the concentration of one parent families with dependent children are located at the western end of Griffith a significant distance away.



The thematic below highlights that lack of children (under age being dependent) that are in the vicinity of the subject site.



Those people that do live within the same collector district as that of the proposed development do so within lone households as is demonstrated in the following thematic.



### 4.3 SUMMARY OF POPULATION CHARACTERISTICS

Within the Griffith LGA, the highest concentration of population is within the Griffith urban area itself. There are several key points to be highlighted to be considered in the social impact assessment:

- The area within which the proposed development is situated is one of the least densely populated areas in the Griffith urban area;
- The presence of under age people is minimal;
- The subject site is situated within an industrial area characterised by industrial and rural supplies uses;
- The small number of residents within the collector district are lone households;

The use of the thematic to illustrate the characteristics of the locality and clearly demonstrates that the subject site is not within the proximity of sensitive land uses and that the proposed use of the site as a brothel will not expose that use to any sensitive groups of the community.

## 5 LAND USE CHARACTERISTICS

A land use survey has been undertaken to gain an understanding of the physical nature of the development locality. This assists in gaining an understanding of the contextual characteristics of the location and also the outcomes of each of the consultations.

The subject site is located in one of the main industrial areas of Griffith. The graphic below identifies the immediate locality of the subject site (yellow dot) in relation to the city's main commercial and industrial precincts (blue shading), with the residential areas of Griffith located some distance away (red shading). This confirms the view that the proposed brothel will be situated a substantial distance from other sensitive land uses in the city.



## 6 CONSULTATION

Consultation with a range of stakeholders was undertaken with the aim being to:

- Provide information about the development.
- Allow the stakeholders to have their say.
- Allow opportunities for new ideas.
- Allow for an opportunity to negotiate acceptable outcomes.
- Develop, maintain and enhance relationships with the community and stakeholders.

The following stakeholders have been consulted and the comments are provided below:

Organisation/Sector	Purpose	Comments
<b>NSW Police Force</b> (Griffith Local Area Command)	To identify particular areas of crime hot spots as well as strategies that are being undertaken to address the issues	- Police expect that any application would be referred to the Griffith Local Area Command for comment on matters relating to Crime Prevention through Environmental Design (CPTED) principles.
<b>Griffith City Council</b>	To explore the views of relevant staff and identify the presence of any existing legally approved brothels	- One brothels currently approved in Griffith. - Community may be concerned about another brothel being approved/established in the city. - Permissible in the zone. - Preferable that the site is located as far as possible from residential, religious and child related land uses. - May be some negative feedback from the culturally diverse demographics. - Referred to Community Action Plan (refer below) - Important to consider the community's sense of self.
<b>NSW Sexual Health Services</b>	To understand current services in the area and explore the benefits or otherwise of the facility	- We were referred to the Department of Health.
<b>NSW Dep't of Health</b> (Formerly the Greater Southern Area Health Service)	To understand the relevant issues from a health perspective	- Approved premises allow easy identification which: <ul style="list-style-type: none"> <li>o Assists in provision of health related services</li> <li>o Minimises risks that sex workers can be exposed to</li> </ul> - It is recognised that street based sex workers that are not regulated are at higher risk of infection, the need for welfare support and personal safety.

It is understood that there have in the past and may still be some examples of unauthorised activities of prostitution in Griffith. Due to its unauthorised nature, these activities are not regulated and therefore do not benefit from support such as that offered by the NSW Department of Health. Notwithstanding, the issue of the determining and potentially approving development applications for brothels in Griffith does raise concerns over matters relating to precedence, cumulative impacts and appropriateness. The question might be how much weight should be given to either view.

## 7 SOCIAL IMPACT ASSESSMENT

### 7.1 POPULATION CHARACTERISTICS

On review of the population characteristics of the area, it was apparent that the locality is one of the least densely populated areas in the city of Griffith. Moreover, sensitive sections of the community, such as children, are situated some distance from the subject site. Griffith East Public School and Wade High School are the nearest schools to the subject site being approximately 0.8km and 0.6km between the boundaries of each school and the site, taking a direct line (ie: as the crow flies).

### 7.2 STRUCTURE, CHARACTER AND BELIEFS

Due to the location of the proposed brothel, it is considered that there would be no significant impact on the community's structure, character or beliefs. Its location is not near any sensitive land uses, and indeed, the part of the population that would be most exposed to the premises would be workers to the locality.

### 7.3 SAFETY

The following table from the NSW Bureau of Crime Statistics and Research's (BOCSAR) website shows the trend in offence activity over not only the last 12 months, but also over the previous 4 years.

<i>Offence category</i>	<i>Annual percentage change 2012 to 2013</i>	<i>Average annual percentage change 2009 to 2013</i>
Murder	No change	No change
Assault - domestic violence related	Stable	Up by 6.7%
Assault - non-domestic violence related	Stable	Down by 9.7%
Sexual assault	No change	No change
Indecent assault, act of indecency and other sexual offences	No change	No change
Robbery without a weapon	No change	No change
Robbery with a firearm	No change	No change
Robbery with a weapon not a firearm	No change	No change
Break and enter dwelling	Stable	Stable
Break and enter non-dwelling	Stable	Stable
Motor vehicle theft	Up by 44.0%	Down by 9.0%
Steal from motor vehicle	Up by 33.1%	Up by 15.8%
Steal from retail store	Stable	Stable
Steal from dwelling	Stable	Stable
Steal from person	No change	No change
Fraud	Stable	Stable
Malicious damage to property	Stable	Down by 4.9%

Whilst some offences have risen by considerable amounts, it is interesting to compare these results to the previous 5 year period, shown below.

<i>Offence category</i>	<i>Annual percentage change 2008 to 2009</i>	<i>Average annual percentage change 2005 to 2009</i>
Murder	-	-
Assault - domestic violence related	Stable	Stable
Assault - non-domestic violence related	Stable	Stable
Sexual assault	Stable	Stable
Indecent assault, act of indecency and other sexual offences	Stable	Stable
Robbery without a weapon	-	-
Robbery with a firearm	-	-
Robbery with a weapon not a firearm	-	-
Break and enter dwelling	Stable	Stable
Break and enter non-dwelling	Stable	Down by 5.0%
Motor vehicle theft	Up by 67.0%	Stable
Steal from motor vehicle	Stable	Stable
Steal from retail store	Stable	Stable
Steal from dwelling	Stable	Down by 6.2%
Steal from person	-	-
Fraud	Stable	Stable
Malicious damage to property	Down by 9.2%	Stable

With the exception of some categories such as motor vehicle theft, stealing from a motor vehicle and assault that is related to domestic violence, the incidence of offences are generally not increasing in the Griffith local government area. In contrast, the majority of offences appear to have been relatively static over time and in some cases on the decline. The establishment of a brothel is not considered to directly or significantly impact the above listed figures and trends.

A Plan of Management has been submitted to Council which documents on-site security measures required for a premises such as this one.

#### 7.4 SENSE OF PLACE AND COMMUNITY

The aesthetic nature of the community would not really be affected by the premises in the location proposed. Whilst the community might need to adjust to the fact that an approved premises may be situated in the city, it is considered that there are some positive aspects to this.

The Griffith Community Action Plan was prepared by Council in 2007 in consultation with the community including, service providers governmental and no-governmental organizations. The plan identifies the social issues and challenges facing the community. The plan addresses issues such as multiculturalism, crime prevention, health, violence and a sense of place in the community

The proposed establishment of a brothel is not considered to contradict the objectives of the Griffith Community Action Plan.

## 8 CONCLUSION

The question to be considered in relation to this proposal is whether the approval of a brothel, along with the regulation and health care support services that are offered with that, is an outcome that does not unacceptably impact on the community. Whilst the negative public perception about potentially approving brothels in Griffith may be strong there are a number of positive aspects that need to be promoted. The positive aspects of this proposal include:

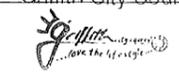
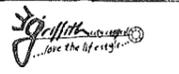
- Recognition of an activity that may already take place in Griffith in an unregulated way;
- The activity could be regulated in terms of both its operation and health related aspects;
- The location is in one of the least dense areas of Griffith, where there is a significant distance buffer between itself and sensitive land uses;
- The locality is really a destination, and not situated on any real thoroughfare that would be travelled by large sections of the community;
- Workers in the industry can be targeted by the NSW Department of Health for support in areas of sexual health, education and the prevention of sexually transmitted infection. Furthermore Workcover controls would apply to an approved premises that would result in safe working conditions for employees;
- Street based, or unregulated sex work would be undermined by such a premises;
- The premises would provide a service to those sections of the Griffith community that may be prepared to use such a service.

The negative impacts that may arise by approving the facility might include:

- Concern over the potential for additional premises to be established;
- Concern over the potential relocation of this premises into an inappropriate location;
- Offence may be caused to people who work in close proximity to the premises.

The negative impacts can be addressed through the need for planning approval, regulatory control, and the fact that the business' peak trading hours will be outside the times that most industrial businesses operate. Spatially, the subject site represents one of the best locational opportunities for such a land use. The social impacts do not represent a case suggesting that the proposal for a brothel should be refused. In this regard the positive impacts outweigh the negative impacts for the reasons outlined above.

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (DETAILED SITE PLAN)  
 Adjoins Railway Reserve

Griffith City Council  
  
 5 FEB 2015  
 RECEIVED  
 Received by  
 Griffith City Council  
  
 06 FEB 2015  
 REGISTERED

Designed  
  
**ZEPLAN**  
 DRAFTING SERVICES  
 www.zeplan.com.au - 95 Verri Street Griffith NSW 2680  
 Email zds@zeplan.com.au - Mobile: 0408 696 458

Project  
**Proposed Escort Services Premises**

Project Address  
**LOT 1 DP 1071858 36-38 Colier Street Griffith**

Client  
**Griffith Escort Girls Pty Ltd**

Drawing Title  
**Detailed Site Plan**

Job No: NC1114	Drawing No: A02
Date: 10/11/2014	Scale: 1 : 200
Designed: G Lanza	Page Size: A1
Drawn: G Lanza	Checked: G Lanza



- General Notes**
- Dimensions of property boundaries & position of home to be verified by a registered surveyor
  - These drawings are to be read in conjunction with engineer's specifications
  - All the materials and the standard of work shall be in accordance with the recognized industry standards
  - All dimensions, window and door sizes are to be verified before commencement of work
  - The contractor shall observe and comply with the provisions of all relevant acts, ordinances, regulations, bylaws, orders and rules and all requirements of any authority that are applicable to the works
  - Method of termite control is to be in accordance with Council requirements
  - Verify position of electricity supply and connect power to main switch board in accordance with energy provider's specifications
  - Verify position of water meter with Council

- Landscape notes**
- Specific native plant selection to be in accordance with Council's list of local native plant species
  - Garden beds to be covered with 100mm thick pine mulch
  - All plants and lawn areas to have automatic underground drip and sprinkler irrigation system
  - Plant beds against lawn areas to be bordered with continuous formed concrete edging or pavers
  - Road reserve to be planted with lawn proofing barrier prior to filling to all wet areas by a qualified installer

**Building Materials**

Roof - Gang Nailed timber trusses with Colorbond Cusatom ORB on Sizational Foil with Colorbond Ridge Capping, Colorbond custom made Barge Capping on Novaline fascia and Colorbond slotted Quad gutter on Novaline fascia

Walls - 90mm thick Stud wall with Colorbond Cusatom ORB on Sizational Foil externally & 10mm plasterboard internally and R2.0min insulation bats

Ground Floor - 18mm particleboard with on metal joist to manufactures detail

Ceiling - 10mm plasterboard with 90mm cornice on metal battens and R3.5min insulation bats

Windows - powder coated aluminium framed windows. Inshore windows chosen minimize the acoustic effect of the glazing machinery

Doors - Selected solid timber doors with Selected single lever door handle keyed alike.

- BCA Section J Compliance**
- Thermal insulation - All Walls, Floors & Ceilings are consistent with the requirements of Section J of the BCA.
  - Glazing - Ensure All glazing is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
  - Lighting - Ensure All lighting is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
  - Heating/Cooling - Ensure mechanical air conditioning is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion

Revision Number	Revision Date	Revision Description
A	19/11/2014	Location Revised

**Part B Lot 2 DP 1198089**  
 Area = 829 m<sup>2</sup>

**Part C Lot 2 DP 1198089**  
 Area = 254 m<sup>2</sup>

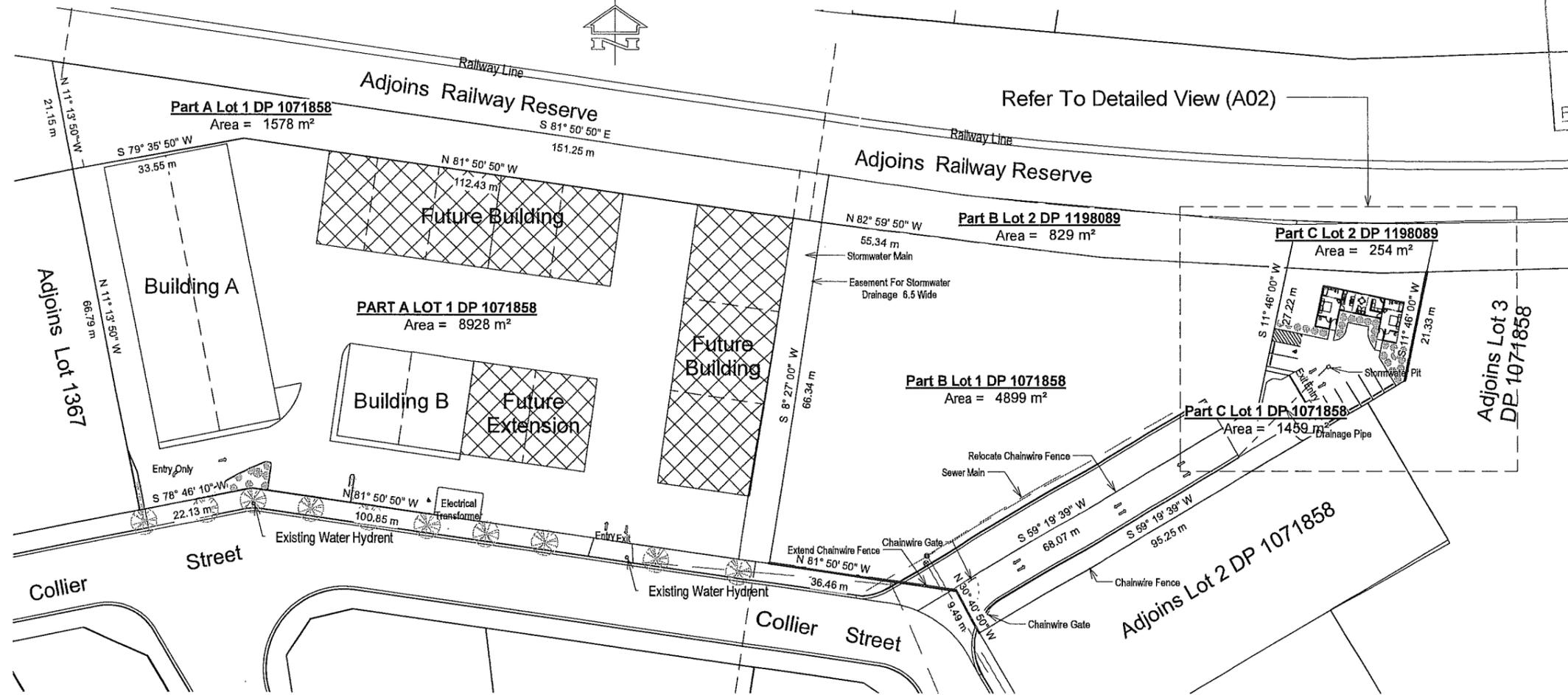
**Part B Lot 1 DP 1071858**  
 Area = 4899 m<sup>2</sup>

**Part C Lot 1 DP 1071858**  
 Area = 1459 m<sup>2</sup>



**Detailed Site Plan**  
 Scale: 1 : 200

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (SITE PLAN)



Site Plan  
Scale: 1 : 1000

Griffith City Council  
Designed  
**ZEPLAN**  
DRAFTING SERVICES  
RECEIVED  
5 FEB 2015  
www.zeplan.com.au - 95 Verri Street Griffith NSW 2680  
Email zds@zeplan.com.au - Mobile: 0408 696 458

Received by: Project 30

**Proposed Escort Services Premises**

Project Address  
**LOT 1 DP 1071858 36-38 Colier Street Griffith**

Client  
**Geriffith Escort Girls Pty Ltd**

Drawing Title  
**Site Plan**

Job No: NC1114	Drawing No: A01
Date: 10/11/2014	Scale: 1 : 1000
Designed: G Lanza	Page Size: A1
Drawn: G Lanza	Checked: G Lanza



- General Notes**
- 1 - Dimensions of property boundaries & position of home to be verified by a registered surveyor
  - 2 - These drawings are to be read in conjunction with engineer's specifications
  - 3 - All the materials and the standard of work shall be in accordance with the recognized industry standards
  - 4 - All dimensions, window and door sizes are to be verified before commencement of work
  - 5 - The contractor shall observe and comply with the provisions of all relevant acts, ordinances, regulations, bylaws, orders and rules and all requirements of any authority that are applicable to the works
  - 6 - Method of termite control is to be in accordance with Council requirements
  - 7 - Verify position of electricity supply and connect power to main switch board in accordance with energy providers specifications
  - 8 - Verify position of water meter with Council

- Landscape Notes**
- 1 - Specific native plant selection to be in accordance with Council's list of local native plant species
  - 2 - Garden beds to be covered with 100mm thick pine mulch
  - 3 - All plants and lawn areas to have automatic underground drip and sprinkler irrigation system
  - 4 - Plant beds against lawn areas to be bordered with continuous formed concrete edging or pavers
  - 5 - Road reserve to be planted with lawn proofing barrier prior to tiling to all wet areas by a qualified installer
  - 6 - All trees & shrubs to be selected by builder

**Building Materials**

Roof - Gang Nailed timber trusses with Colorbond Cusatom ORB on Sialation Foil with Colorbond Ridge Capping, Colorbond custom made Barge Capping on Novaline fascia and Colorbond slotted Quad gutter on Novaline fascia

Walls - 90mm thick Stud wall with Colorbond Cusatom ORB on Sialation Foil externally & 10mm plasterboard internally and R2.0min insulation bats

Ground Floor - 19mm particleboard with on metal joist to manufactures detail

Ceiling - 10mm plasterboard with 90mm cornice on metal battens and R3.5min insulation bats

Windows - powder coated aluminium framed windows. Inshore windows chosen minimize the acoustic effect of the ginning machinery

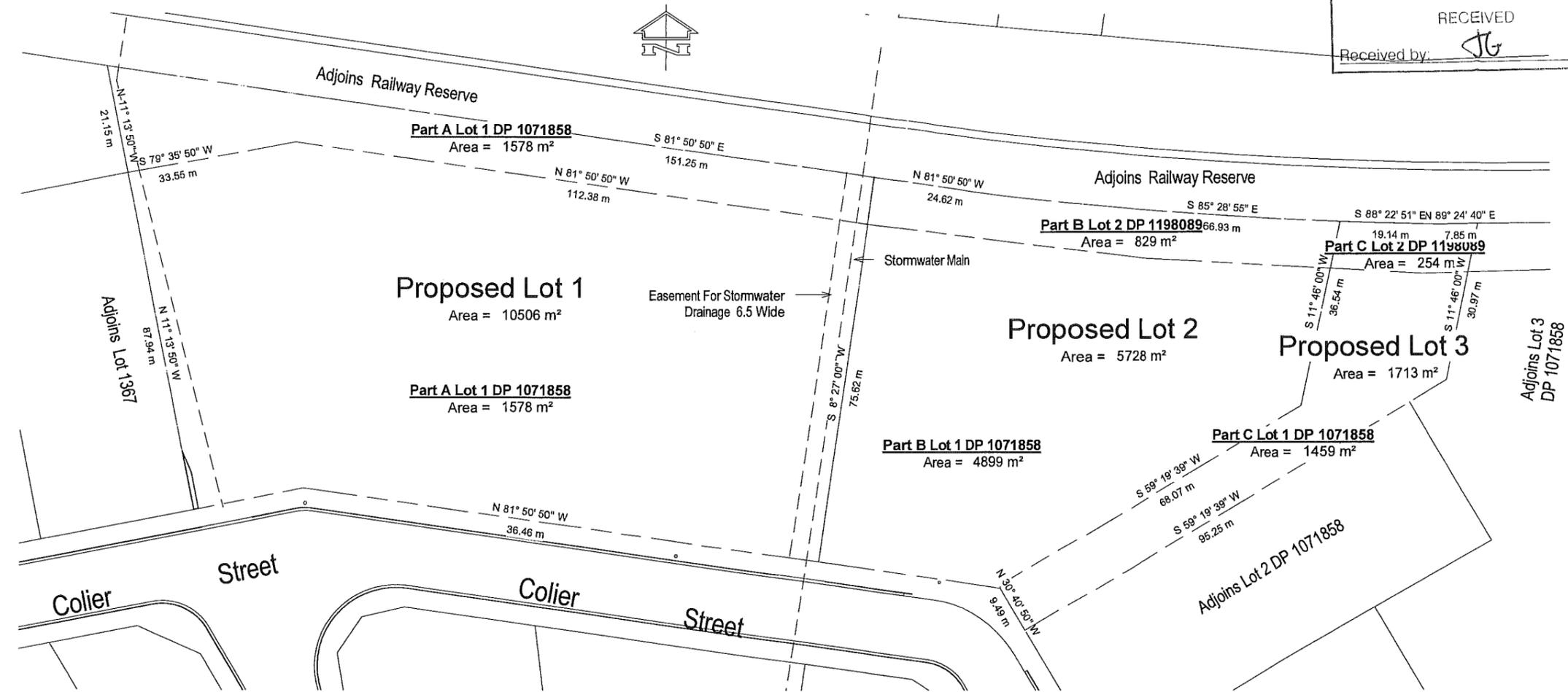
Doors - Selected solid timber doors with Selected single lever door handle keyed alike.

- BCA Section J Compliance**
1. Thermal Insulation - All Walls, Floors & Ceilings are consistent with the requirements of Section J of the BCA.
  2. Glazing - Ensure All glazing is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
  3. Lighting - Ensure All lighting is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
  4. Heating/Cooling - Ensure mechanical air conditioning is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion

Griffith City Council  
**06 FEB 2015**  
REGISTERED

Revision Number	Revision Date	Revision Description
A	19/11/2014	Location Revised

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (SUBDIVISION PLAN)



Subdivision Layout

Scale: 1 : 1000

Griffith City Council  
  
 5 FEB 2015  
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 Received by: *JG*

Designed  
  
 www.zeplan.com.au - 95 Verri Street Griffith NSW 2680  
 Email zds@zeplan.com.au - Mobile: 0408 696 458

Project  
**Proposed Escort Services Premises**

Project Address  
**LOT 1 DP 1071858 36-38 Colier Street Griffith**

Client  
**Geriffith Escort Girls Pty Ltd**

Drawing Title  
**Subdivision Layout**

Job No: NC1114 Drawing No: A07

Date: 10/11/2014 Scale: 1 : 1000 Page Size: A1

Designed: G Lanza Drawn: G Lanza Checked: G Lanza



- General Notes**
- 1 - Dimensions of property boundaries & position of home to be verified by a registered surveyor
  - 2 - These drawings are to be read in conjunction with engineer's specifications
  - 3 - All the materials and the standard of work shall be in accordance with the recognized industry standards
  - 4 - All dimensions, window and door sizes are to be verified before commencement of work
  - 5 - The contractor shall observe and comply with the provisions of all relevant acts, ordinances, regulations, bylaws, orders and rules and all requirements of any authority that are applicable to the works
  - 6 - Method of termite control is to be in accordance with Council requirements
  - 7 - Verify position of electricity supply and connect power to main switch board in accordance with energy providers specifications
  - 8 - Verify position of water meter with Council

- Landscape notes**
- 1 - Specific native plant selection to be in accordance with Council's list of local native plant species
  - 2 - Garden beds to be covered with 100 thick pine mulch
  - 3 - All plants and lawn areas to have automatic underground drip and sprinkler irrigation system
  - 4 - Plant beds against lawn areas to be bordered with continuous formed concrete edging or pavers
  - 5 - Road reserve to be planted with lawn
  - 6 - All trees & shrubs to be selected by builder

**Building Materials**

Roof - Gang Nailed timber trusses with Colorbond Cusatom ORB on Sizational Foll with Colorbond Ridge Capping, Colorbond custom made Barge Capping on Novaline fascia and Colorbond slotted Quad gutter on Novaline fascia

Walls - 90mm thick Stud wall with Colorbond Cusatom ORB on Sizational Foll externally & 10mm plasterboard internally and R2.0min insulation bats.

Ground Floor - 19mm particleboard with on metal joist to manufactures detail

Ceiling - 10mm plasterboard with 90mm cornice on metal battens and R3.5min insulation bats

Windows - powder coated aluminium framed windows. Inshore windows chosen minimize the acoustic effect of the ginning machinery

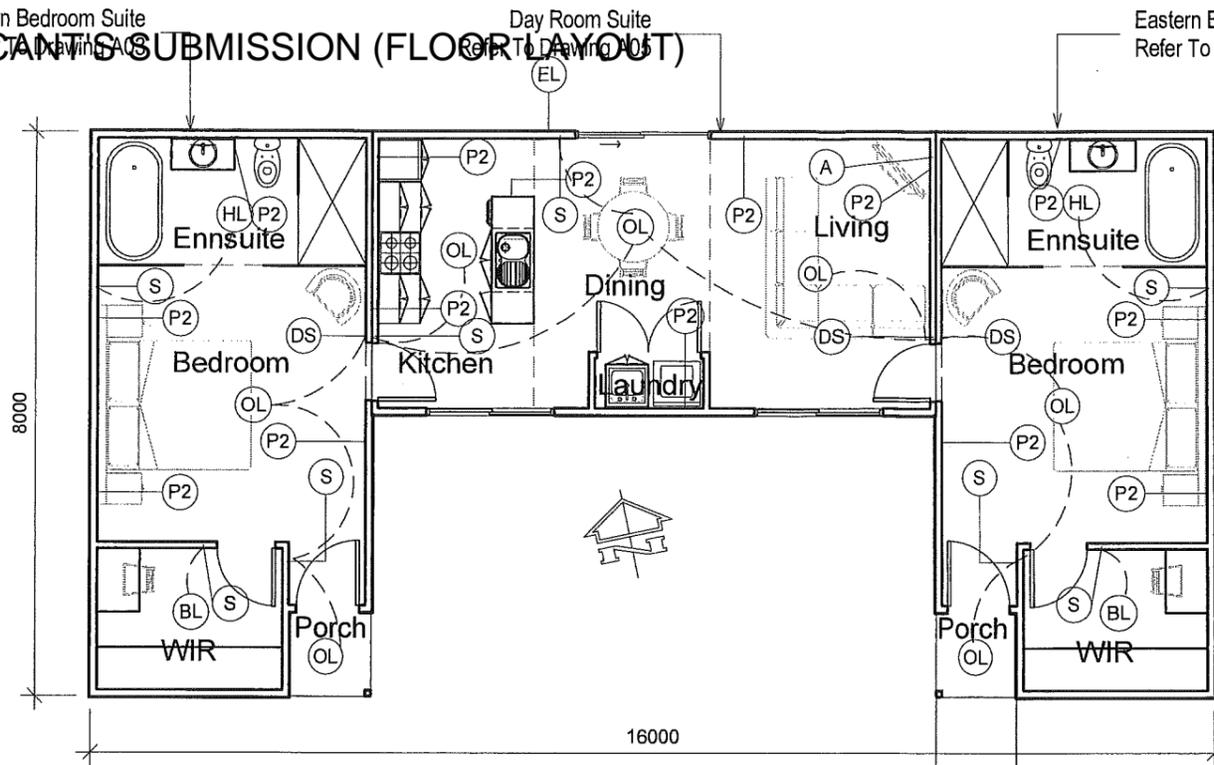
Doors - Selected solid timber doors with Selected single lever door handle keyed alike.

- BCA Section J Compliance**
1. Thermal Insulation - All Walls, Floors & Ceilings are consistent with the requirements of Section J of the BCA.
  2. Glazing - Ensure All glazing is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
  3. Lighting - Ensure All lighting is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
  4. Heating/Cooling - Ensure mechanical air conditioning is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion

Revision Number	Revision Date	Revision Description

Griffith City Council  
  
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ATTACHMENT 'A' - APPLICANT'S SUBMISSION (FLOOR LAYOUT)



Floor Plan  
Scale: 1 : 100

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Designed  
**ZEPLAN**  
DRAFTING SERVICES  
www.zeplan.com.au - 95 Verri Street Griffith NSW 2680  
Email zds@zeplan.com.au - Mobile: 0408 696 458

Project  
**Proposed Escort Services Premises**

Project Address  
**LOT 1 DP 1071858 36-38 Colier Street Griffith**

Client  
**Griffith Escort Girls Pty Ltd**

Drawing Title  
**Floor Plan & Elevations**

Job No: NC1114 Drawing No: A06

Date: 10/11/2014 Scale: 1 : 100 Page Size: A1

Designed: G Lanza Drawn: G Lanza Checked: G Lanza

- Electrical Schedule
- A TV Antenna Outlet
  - BL Batten Fixed Light with Fluorescent Globe
  - DS Light Switch with Dimmer
  - EL Exterior Flood Light
  - HL Combination Heat Lamp, Exhaust Fan & Light
  - OL Oyster Light with Fluorescent Globe
  - P2 Double Power Point
  - S Light Switch

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REGISTERED

**NUCORE**  
INDUSTRIAL CENTRE

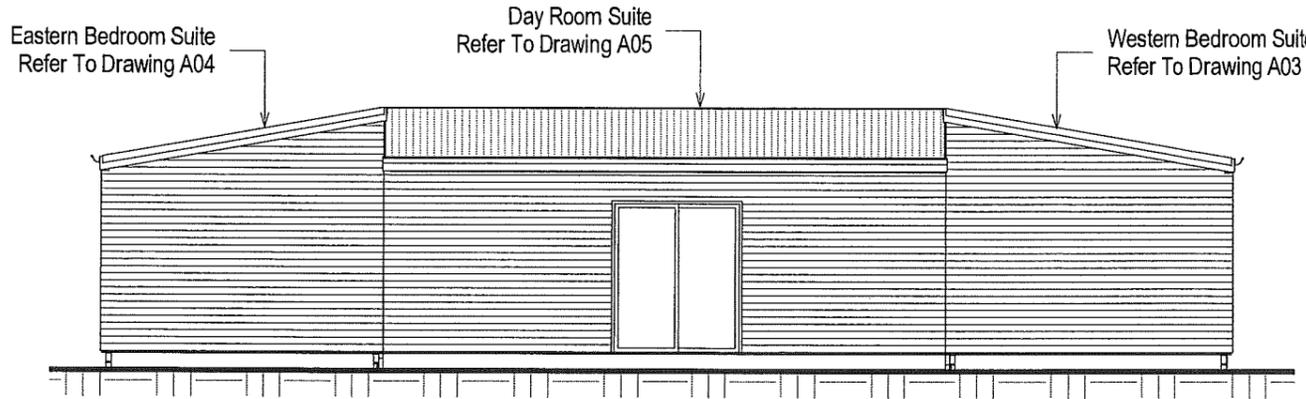
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- Landscape notes
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  - 2 - Garden beds to be covered with 100 thick pine mulch
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  - 4 - Plant beds against lawn areas to be bordered with continuous formed concrete edging or pavers
  - 5 - Road reserve to be planted with lawn proofing barrier prior to tiling to all wet areas by a qualified installer
  - 6 - All trees & shrubs to be selected by builder

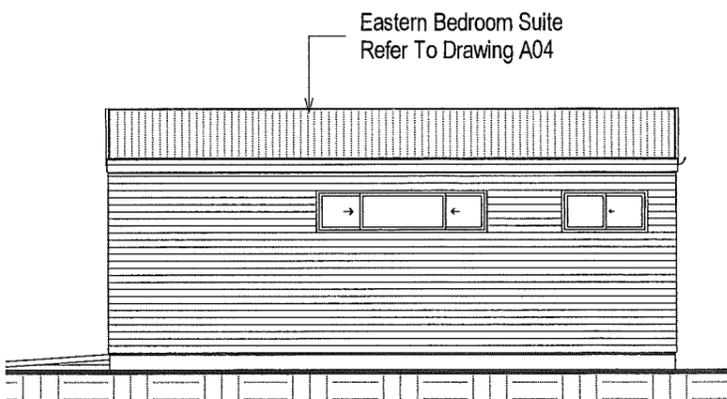
- Building Materials
- Roof - Gang Nailed timber trusses with Colorbond Cusatom ORB on Sization Foil with Colorbond Ridge Capping, Colorbond custom made Barge Capping on Novaline fascia and Colorbond slotted Quad gutter on Novaline fascia
- Walls - 90mm thick Stud wall with Colorbond Cusatom ORB on Sization Foil externally & 10mm plasterboard internally and R2.0min insulation bats.
- Ground Floor - 19mm particleboard with on metal joist to manufactures detail
- Ceiling - 10mm plasterboard with 90mm cornice on metal battens and R3.5min insulation bats
- Windows - powder coated aluminium framed windows. Inshore windows chosen minimize the acoustic effect of the ginning machinery
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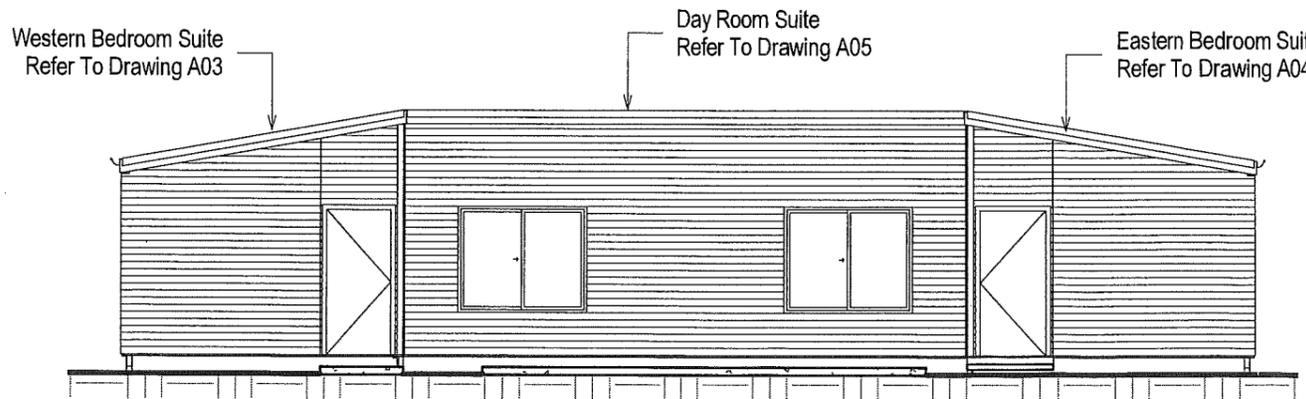
Revision Number	Revision Date	Revision Description



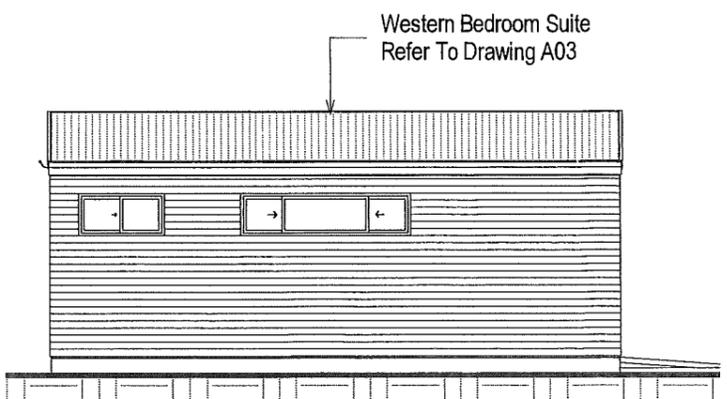
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Scale: 1 : 100



East Elevation  
Scale: 1 : 100



South Elevation  
Scale: 1 : 100



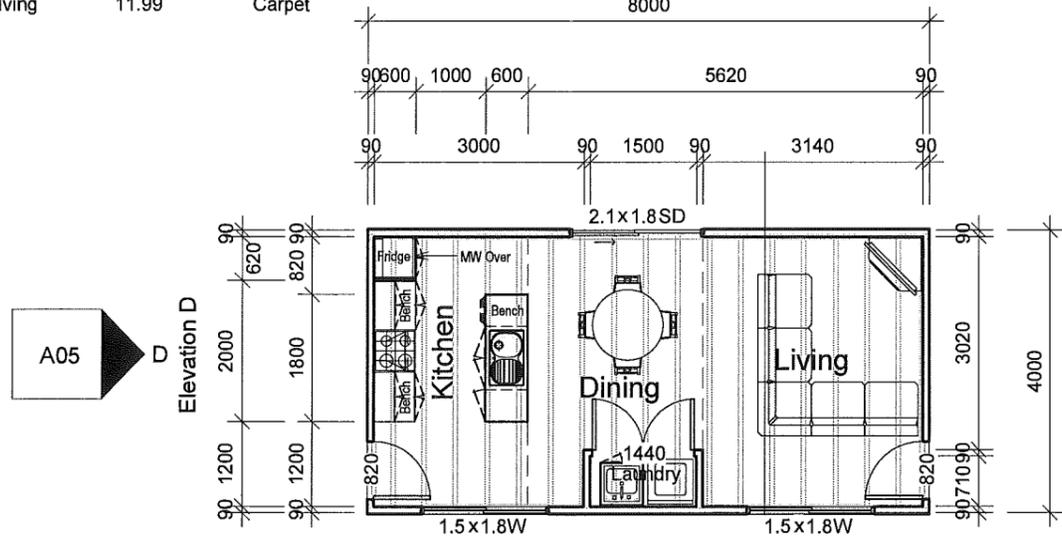
West Elevation  
Scale: 1 : 100

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (DAYROOM SUITE)

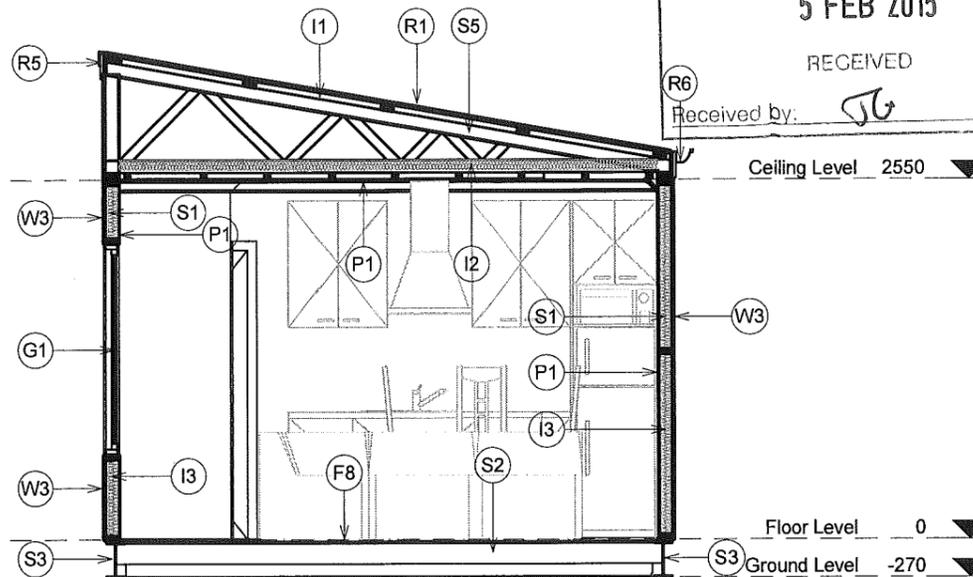
Room Schedule

Name	Area	Floor Finish
Dining	8.13	Timber Laminate
Kitchen	8.39	Timber Laminate
Laundry	1.07	Tile
Living	11.99	Carpet

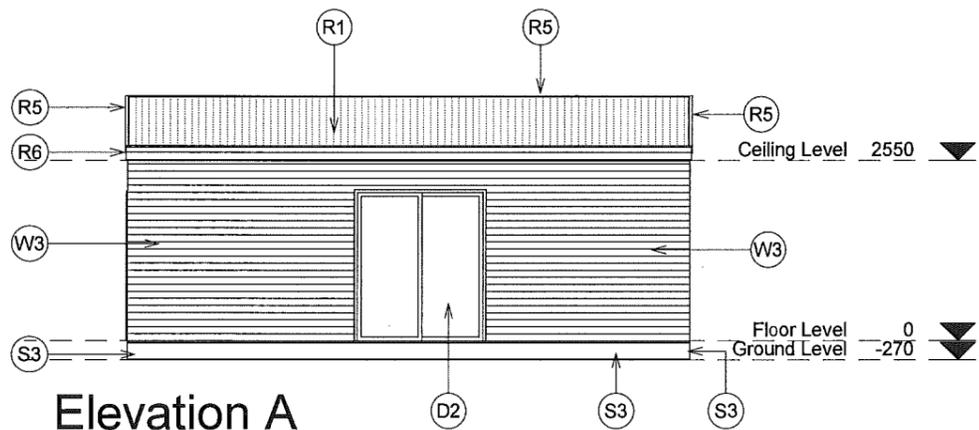
A05  
A  
Elevation A  
8000



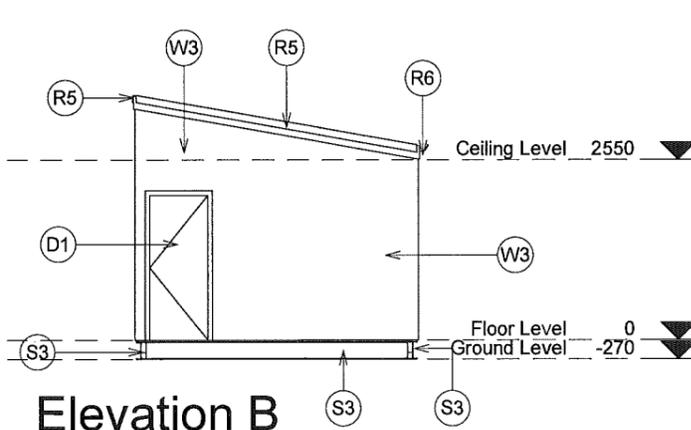
Floor Plan  
Scale: 1:100



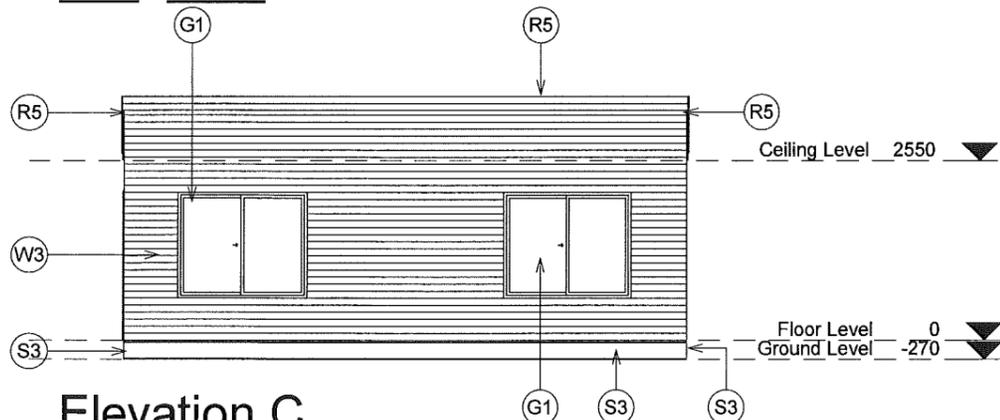
Section E  
Scale: 1:50



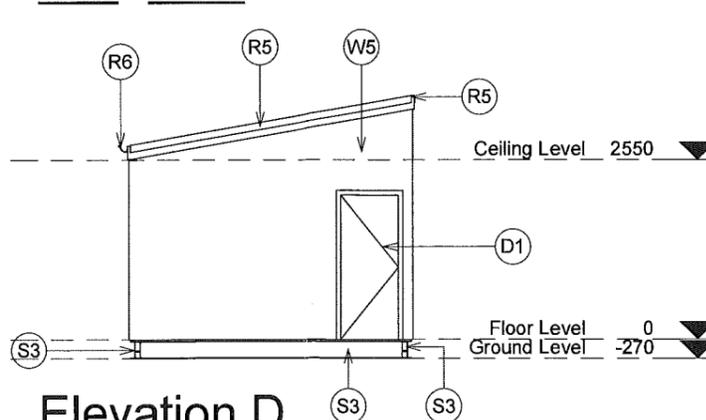
Elevation A  
Scale: 1:100



Elevation B  
Scale: 1:100



Elevation C  
Scale: 1:100



Elevation D  
Scale: 1:100

Elevation & Section Legend

- D1 Selected Timber Door
- D2 Aluminium Framed Glass Sliding Door
- F8 Particleboard Flooring on Steel Bearers & Joists
- G1 Aluminium Framed Sliding Window
- I1 Sizational Foil
- I2 Selected Insulation Bat To Ceiling
- I3 Selected Insulation Bat to Exterior Wall
- P1 Plasterboard Sheeting
- R1 Colorbond Custom ORB Roof Cladding
- R5 Colorbond Fascia & Barge Capping
- R6 Colorbond Fascia & Gutter
- S1 90x35 LOSP Timber Wall Framing
- S2 C15015 Floor Joist @ 450 Centers
- S3 250 UB 25 Floor Bearer
- S5 Gang Nailed Timber Truss to Manufactures Detail
- W3 Colorbond Custom ORB Wall Cladding
- W5 Fibre Cement Sheeting with Painted Finish

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DRAFTING SERVICES  
www.zeplan.com.au - 95 Vert Street Griffith NSW 2860  
Email: zds@zeplan.com.au - Mobile: 0408 696 458

Project  
**Proposed Escort Services Premises**

Project Address  
**LOT 1 DP 1071858  
Collier Street Griffith**

Client  
**Geriffith Escort Girls Pty Ltd**

Drawing Title  
**Day Room Suite**

Job No: NC1114 Drawing No: A05

Date: 10/11/2014 Scale: As indicated Page Size: A3

Designed: G Lanza Drawn: G Lanza Checked: G Lanza



- General Notes**
- 1 - Dimensions of property boundaries & position of home to be verified by a registered surveyor
  - 2 - These drawings are to be read in conjunction with engineer's specifications
  - 3 - All the materials and the standard of work shall be in accordance with the recognized industry standards
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  - 6 - Method of termite control is to be in accordance with Council requirements
  - 7 - Verify position of electricity supply and connect power to main switch board in accordance with energy providers specifications
  - 8 - Verify position of water meter with Council

- Tiling Notes**
- 1 - 1800 high Wall tiles to shower
  - 2 - One row wall tiles behind toilet
  - 3 - 1500 high Wall tiles to bath
  - 4 - Provide 800 high mirror above vanity
  - 5 - Do not Tile behind vanities & mirrors
  - 6 - Tile under cupboards & vanities
  - 7 - Apply a suitable water proofing barrier prior to tiling to all wet areas by a qualified installer
- Landscape notes**
- 1 - Specific native plant selection to be in accordance with Council's list of local native plant species
  - 2 - Garden beds to be covered with 100 thick pine mulch
  - 3 - All plants and lawn areas to have automatic underground drip and sprinkler irrigation system
  - 4 - Plant beds against lawn areas to be bordered with continuous formed concrete edging or pavers
  - 5 - Road reserve to be planted with lawn
  - 6 - All trees & shrubs to be selected by builder

**Building Materials**

Roof - Gang Nailed timber trusses with Colorbond Custom ORB on Sizational Foil with Colorbond Ridge Capping, Colorbond custom made Barge Capping on Novaline fascia and Colorbond slotted Quad gutter on Novaline fascia

Walls - 90mm thick Stud wall with Colorbond Custom ORB on Sizational Foil externally & 10mm plasterboard internally and R2.0min insulation bats.

Floor - 19mm particleboard with on metal joist to manufactures detail

Ceiling - 10mm plasterboard with 90mm cornice on metal battens and R3.5min insulation bats

Windows - powder coated aluminium framed windows. Inshore windows chosen minimize the acoustic effect of the glazing machinery

Doors - Selected solid timber doors with Selected single leaver door handle keyed alike.

**BCA Section J Compliance**

1. Thermal insulation - All Walls, Floors & Ceilings are consistent with the requirements of Section J of the BCA.
2. Glazing - Ensure All glazing is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
3. Lighting - Ensure All lighting is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion
4. Heating/Cooling - Ensure mechanical air conditioning is consistent with the requirements of Section J of the BCA. Contractor to provide documentary evidence of compliance prior to practice completion

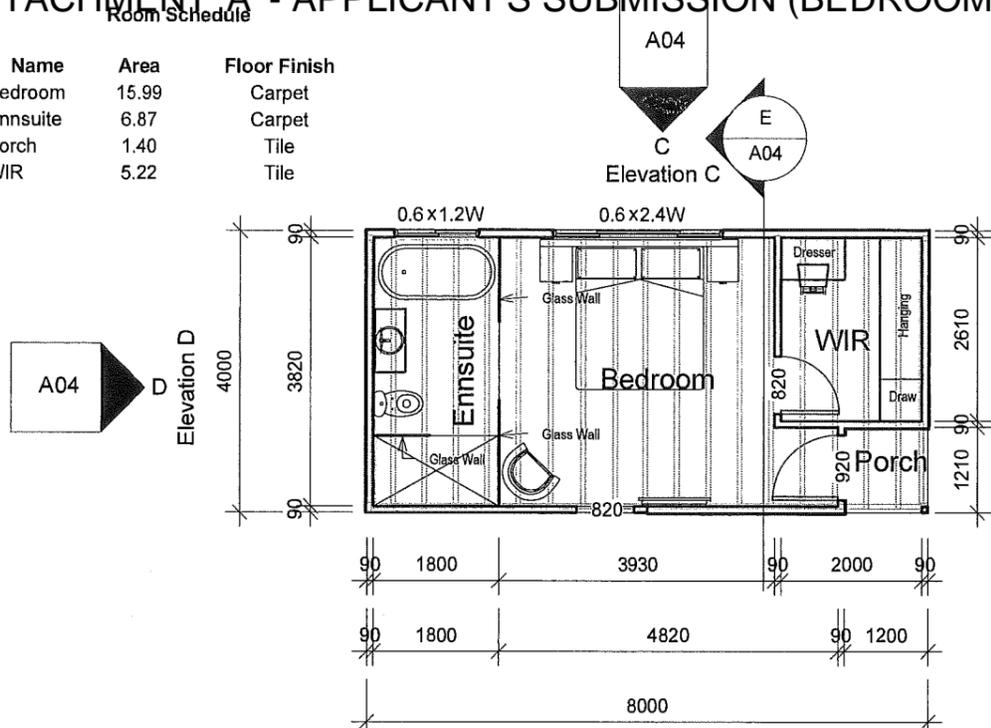
Griffith City Council  
06 FEB 2015  
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Revision Number	Revision Date	Revision Description

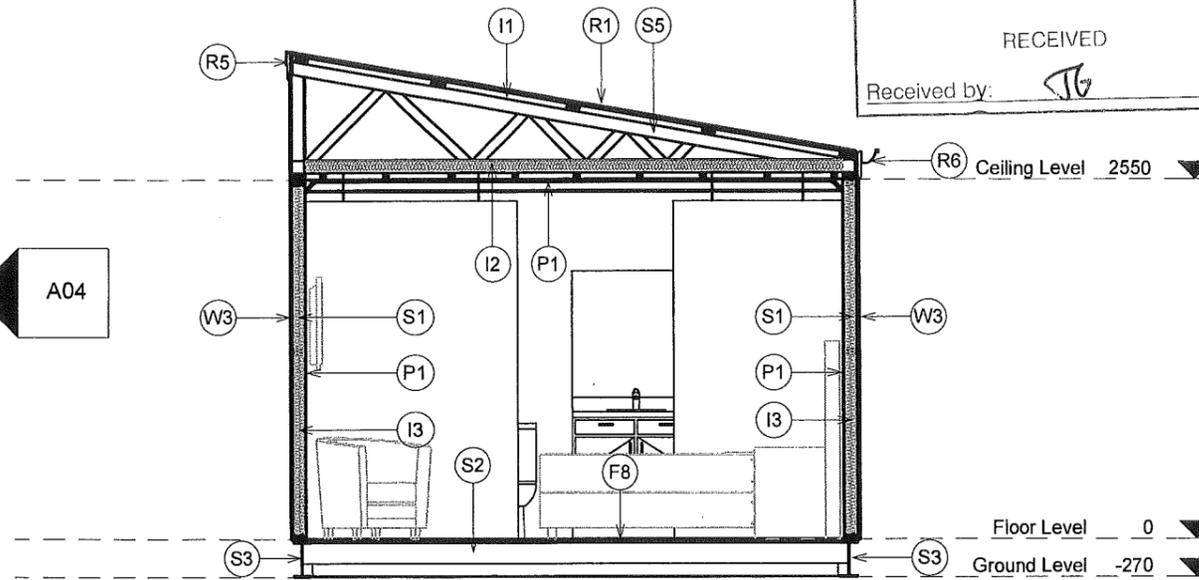
# ATTACHMENT 'A' - APPLICANT'S SUBMISSION (BEDROOM LAYOUT EAST)

Room Schedule

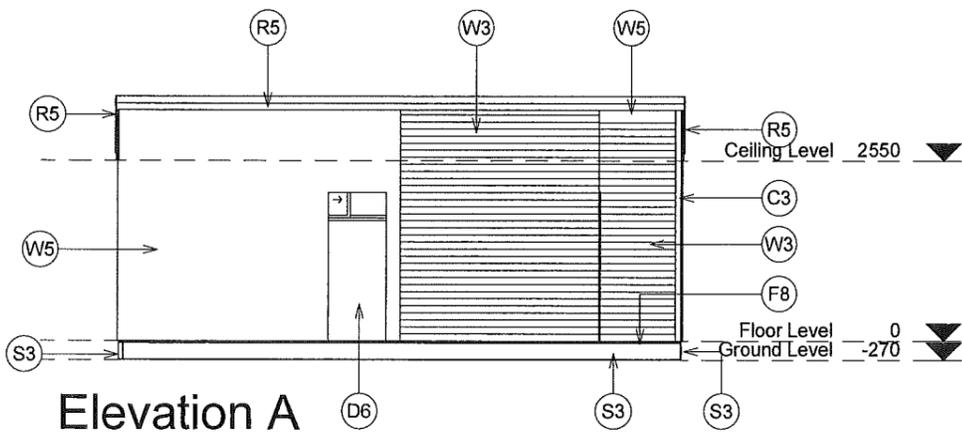
Name	Area	Floor Finish
Bedroom	15.99	Carpet
Ennsuite	6.87	Carpet
Porch	1.40	Tile
WIR	5.22	Tile



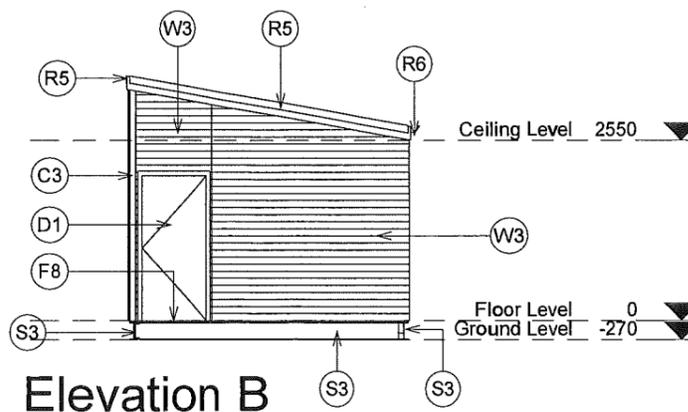
**Floor Plan**  
Scale: 1 : 100



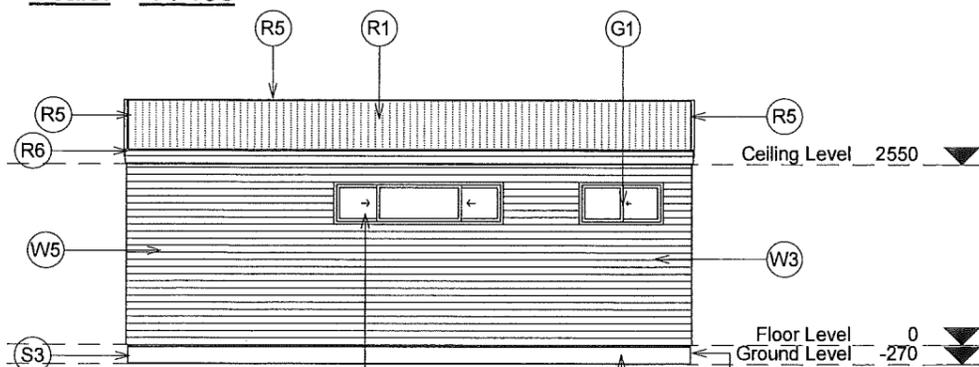
**Section E**  
Scale: 1 : 50



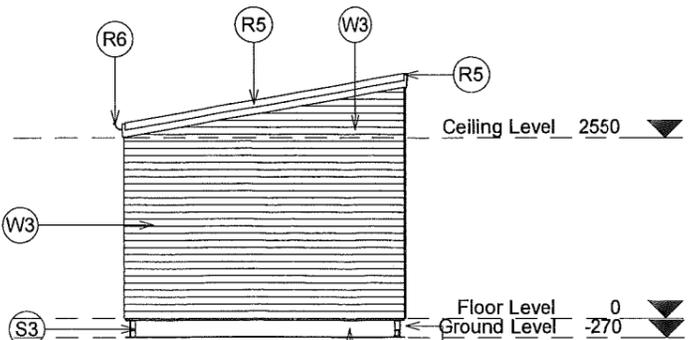
**Elevation A**  
Scale: 1 : 100



**Elevation B**  
Scale: 1 : 100



**Elevation C**  
Scale: 1 : 100



**Elevation D**  
Scale: 1 : 100

**Elevation & Section Legend**

- C3 90x25.5 SHS Column
- D1 Selected Timber Door
- D6 Door Way
- F8 Particleboard Flooring on Steel Bearers & Joists
- G1 Aluminium Framed Sliding Window
- I1 Sizational Foil
- I2 Selected Insulation Bat To Ceiling
- I3 Selected Insulation Bat to Exterior Wall
- P1 Plasterboard Sheeting
- R1 Colorbond Custom ORB Roof Cladding
- R5 Colorbond Fascia & Barge Capping
- R6 Colorbond Fascia & Gutter
- S1 90x35 LOSP Timber Wall Framing
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- S3 250 UB 25 Floor Bearer
- S5 Gang Nailed Timber Truss to Manufactures Detail
- W3 Colorbond Custom ORB Wall Cladding
- W5 Fibre Cement Sheeting with Painted Finish

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Designed  
  
 www.zeplan.com.au - 95 Verri Street Griffith NSW 2680  
 Email zds@zeplan.com.au - Mobile: 0408 696 458

Project  
**Proposed Escort Services Premises**  
 Project Address  
**LOT 1 DP 1071858 Collier Street Griffith**  
 Client  
**Geriffith Escort Girls Pty Ltd**  
 Drawing Title  
**Eastern Bedroom Suite**  
 Job No: NC1114 Drawing No: A04  
 Date: 10/11/2014 Scale: As indicated Page Size: A3  
 Designed: G Lanza Drawn: G Lanza Checked: G Lanza

**NUCORE**  
 INDUSTRIAL CENTRE

- General Notes**
- Dimensions of property boundaries & position of home to be verified by a registered surveyor
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- Tiling Notes**
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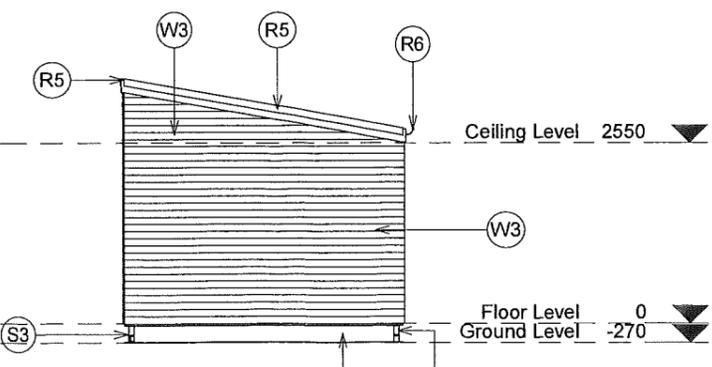
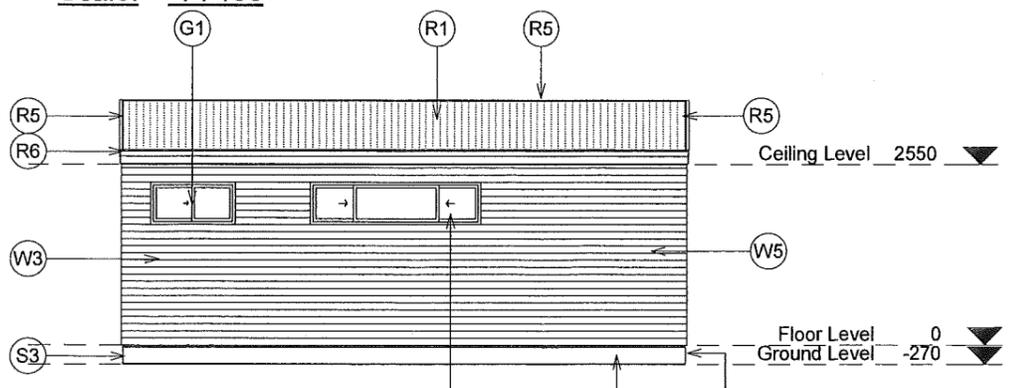
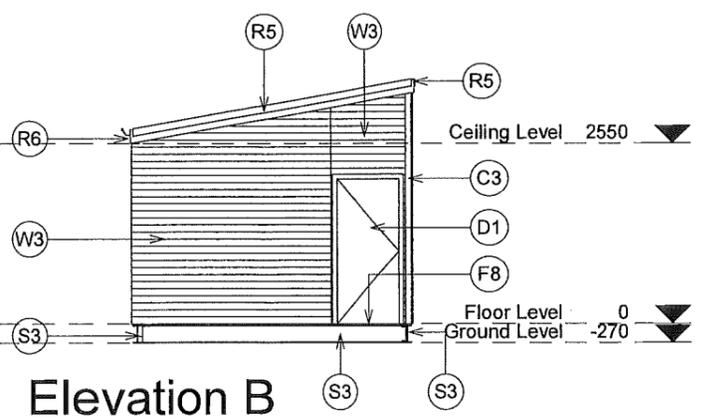
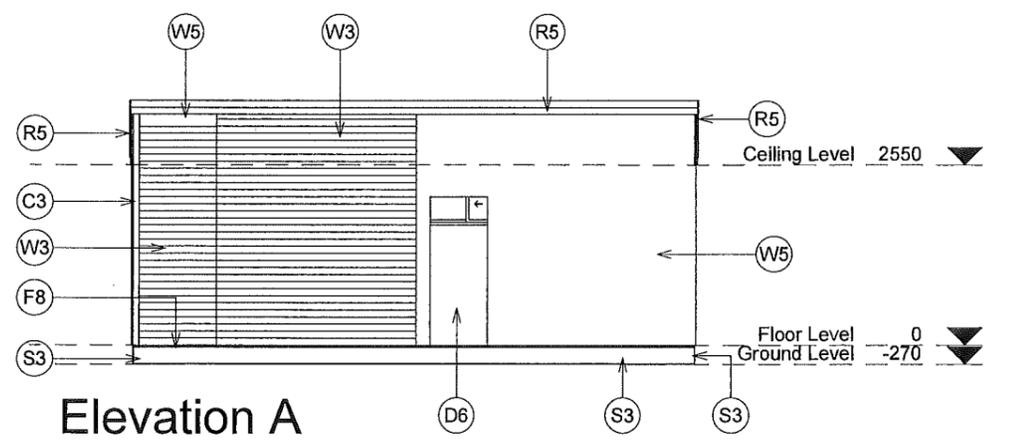
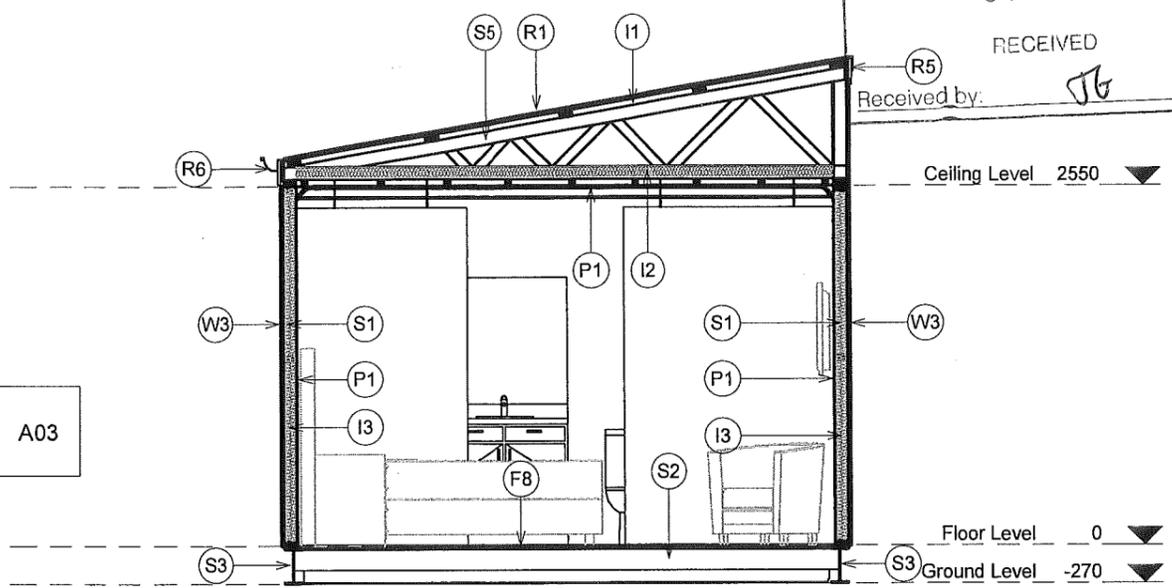
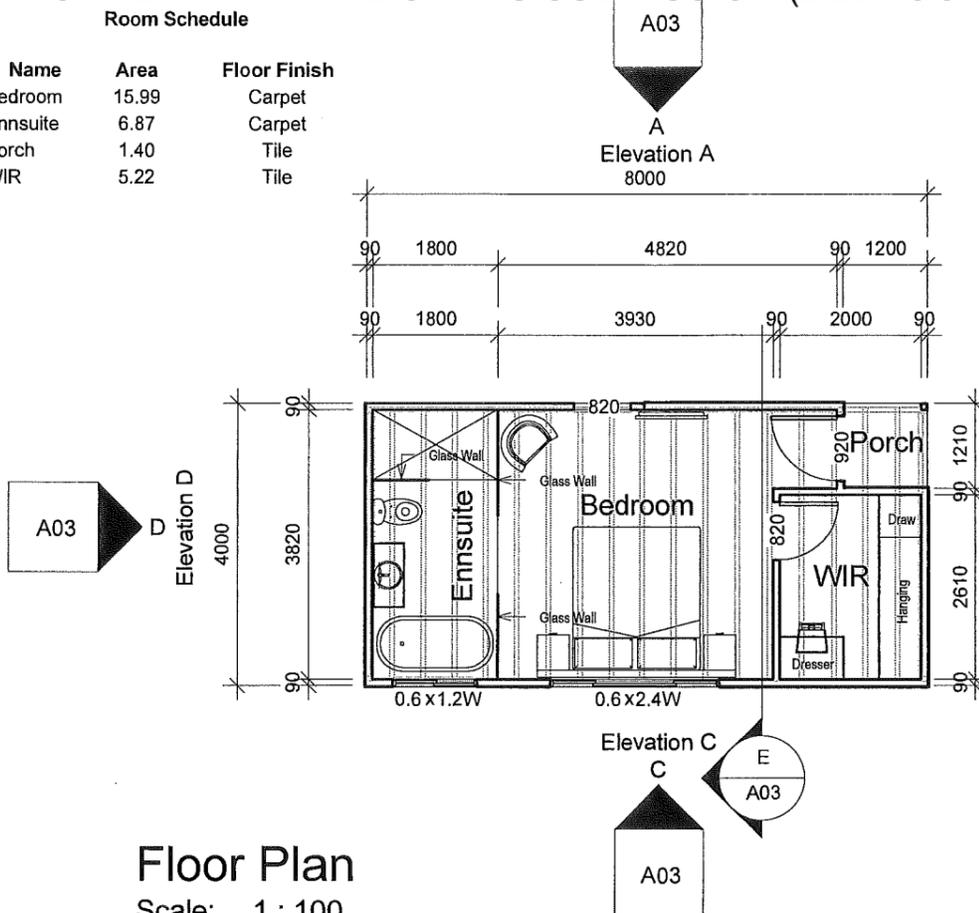
- BCA Section J Compliance**
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Revision Number	Revision Date	Revision Description

ATTACHMENT 'A' - APPLICANT'S SUBMISSION (BEDROOM LAYOUT WEST)

Room Schedule

Name	Area	Floor Finish
Bedroom	15.99	Carpet
Ennsuite	6.87	Carpet
Porch	1.40	Tile
WIR	5.22	Tile



- Elevation & Section Legend**
- C3 90x2.5 SHS Column
  - D1 Selected Timber Door
  - D6 Door Way
  - F8 Particleboard Flooring on Steel Bearers & Joists
  - G1 Aluminium Framed Sliding Window
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  - W5 Fibre Cement Sheeting with Painted Finish

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5 FEB 2015  
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DRAFTING SERVICES  
www.zeplan.com.au - 95 Verri Street Griffith NSW 2680  
Email zds@zeplan.com.au - Mobile: 0408 696 458

Project: Proposed Escort Services Premises  
Project Address: LOT 1 DP 1071858 Collier Street Griffith  
Client: Geriffith Escort Girls Pty Ltd  
Drawing Title: Western Bedroom Suite  
Job No: NC1114 Drawing No: A03  
Date: 10/11/2014 Scale: As indicated Page Size: A3  
Designed: G Lanza Drawn: G Lanza Checked: G Lanza

**NUCORE**  
INDUSTRIAL CENTRE

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Griffith City Council  
 PO Box 485  
 1 Benerembeh Street  
 GRIFFITH NSW 2680  
 Telephone: 02 6962 8100  
 Fax: 02 6962 7161  
 Email: [admin@griffith.nsw.gov.au](mailto:admin@griffith.nsw.gov.au)

**Important Notice!**

**This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground.**  
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 © The State of New South Wales (Land and Property Information),  
 © Griffith City Council.



Drawn By: stevenpa

Projection: GDA94 / MGA zone 55

Date: 17/04/2015 9:21 AM

Map Scale: 1:2000 at A4

# ATTACHMENT C - OBJECTION #1

Griffith City Council  
1 Benereembah St  
Griffith NSW 2680

26<sup>th</sup> February 2015

Dear General Manager

RE: Application for Development DA 19-2015

I am writing to you in regards to the Development Application DA 19-2015, for the development of a Sex Service Premises (SSP) by Griffith Escort Girls PTY LTD at Lot C 36-38 Collier Street, Griffith.

I oppose this Development Application.

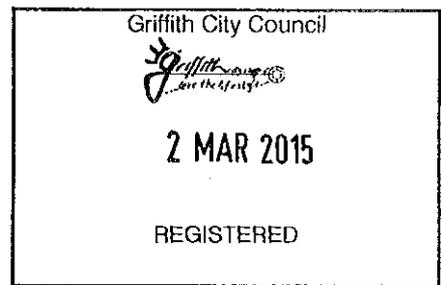
Industrial zones are not the appropriate place for a Sex Service Premise.  
The Sex Industry is not an industrial business which makes it an unsafe zone for them be allocated.  
The isolation of sex workers makes them vulnerable & opens the door to exploitation.

Industrial areas are very poorly lit at night. They are not designed for night time trading. This can be problematic for a mostly female business that is intending on operating 24 hours a day. They can then be easy targets for stalkers and criminal element. Easy to spy on, stalk, and harass in a very isolated area that would have no general traffic in the area at night.

Thank you for taking the time to read my submission.

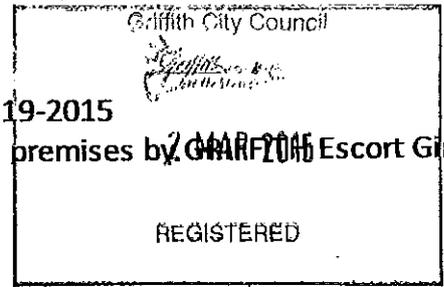


Jackie Parker  
Sex Worker  
Griffith NSW



**ATTACHMENT C - OBJECTION #2 (NAME WITHHELD)**

To the General Manager,

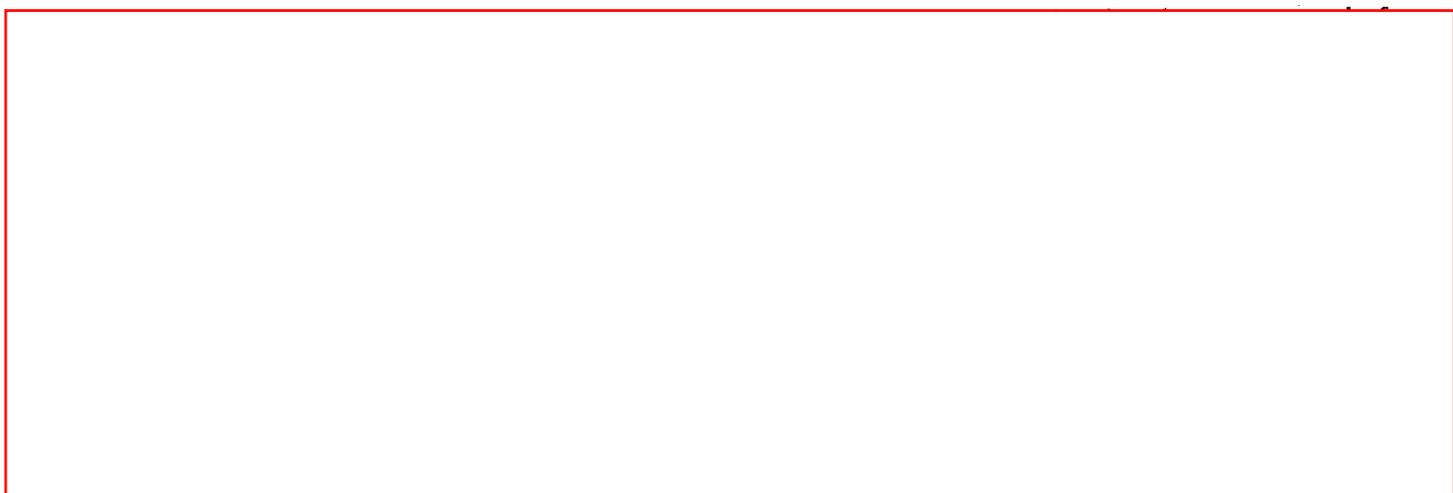


I am writing to you regarding the development application: DA 19-2015  
I am extremely concerned for the development of a Sex Service premises by GARFONE Escort Girls  
PTY LTD at lot C 36-38 Collier street, GRIFFITH.

The issues I see with this development:

- \*Not far from the address of the premise is a dance/acting school/costume shop on Collier St where many young children, teenagers congregate! It will be in eye shot of this premise. I know the ladies have to work somewhere but not so close to where school aged children attend.
- \*In the application the plans show 2 bedrooms and one common area. It also says "up to 4 sex workers" will be working. As there are so few Sex workers here in Griffith I assume they will come from other places. Where do they sleep? Do they stay at the brothel 24 hours a day or do they get a motel to sleep in. Two beds and four ladies doesn't work.
- \*In the application the plans show 2 bedrooms and also state that the business will run 24 hours a day. Does that mean these workers will be expected to work 24 hours a day? Surely that is not legal?
- \*In the application it says that they will have lighting in the car park but not in the long driveway. How is that safe if a woman has to exit the premises on foot.
- \*Being in the industrial zone the women are away from everyone. If they don't have a car how will they shop to eat? What happens if they have a problem with the manager? They are alone there!
- \*As there are no other night businesses in the Industrial zone, will this mean that police patrols in that area will have to be more frequent, and in turn costing more money? I don't believe these ladies should just be left out there with no one seeing over them. They need the police presence around to make sure that criminals and drug dealers stay away from these isolated women.

Thank you for taking the time to read my submission.



# BENSCRAPE PTY LTD

Mobile: 0427 624 517  
Office: 02 6962 9688  
Fax: 02 6964 7835

C/- Unit 10/16-24 Whybrow Street  
GRIFFITH NSW 2680



9<sup>th</sup> March 2015

Att: Steven Parisotto  
Snr Development Assessment Planner  
Griffith City Council  
PO Box 485  
GRIFFITH NSW 2680

Dear Sir,

We are writing to you in response to your letter to us dated the 26<sup>th</sup> February 2015, in regards to the proposed development of Part Lot 1 DP1071858, 36-38 Collier Street, for the use of a Brothel.

We would like to formally lodge an objection to the proposed use of said land. Following are key points in regards to our objections and requests as to how these will be looked at:

#### Social Impact Study

- Effect on surrounding existing and future business
- Land Value
- Impact on future tenants and their DA approvals
- Loss of Income, due to tenants objecting and potentially leaving our premises
- Security measures
- Stigma of having a business place so closely located, the loss of income for tenants and our own income

#### Consent for Land Use – Griffith Local Environmental Plan 2014

- Is this property Flood Prone, if so, a residential dwelling is not allowed to be built
- Residential building are no permissible in industrial areas
- Building does not comply with disability access code.

We believe that a Social Impact Study needs to be done by the Applicant so that our concerns and objections will be correctly assessed and addressed.

Thanking you,

Peter Salvestro

Trevor Lucantonio



# ATTACHMENT 'C' - OBJECTION #4

12 March 2015

General Manager  
Brett Stonestreet  
Attn: Steven Parisotto  
Griffith City Council  
1 Benerembah Avenue  
Griffith, NSW 2680



Dear Mr. Stonestreet

RE: Objection to Proposed Brothel

I write to you to object to the development application 19/2015 which proposes to locate a brothel at 36 -38 Collier Street. This objection is based on the location of the brothel adjacent to a place regularly frequented by children among other issues. The proposed brothel is directly adjacent to a property which contains a dance studio which caters for predominantly children aged 3-17 years old.



The location of the dance studio was cause for concern relating to another development application for a brothel in this area (DA 62/2010) on Hams Street. The proximity of the Hams Street brothel near the dance studio was cause for Council to refuse DA 62/2010. It seems that the same consultant, (whose name does not appear on any of the documentation) has prepared the

documentation for this DA as the Plan of Management and so called Social Impact Assessment are almost identical to those submitted for the Hams Street brothel. Even though the location of the dance studio was such an issue for the Hams Street brothel, the applicant has failed (most likely deliberately) to address the potential social impacts of locating a brothel adjacent to a place frequented by children.

*Griffith Local Environmental Plan 2014 (Griffith LEP)*

The Griffith LEP, which governs the land use matters in Griffith, in *Clause 7.11 – Location of Sex Service Premises* provides the following:

*(1) The objective of this clause is to minimise land use conflicts and adverse amenity impacts by providing a reasonable level of separation between sex services premises, specified land uses and places regularly frequented by children.*

*(2) In deciding whether to grant development consent to development for the purposes of sex services premises, the consent authority must consider the following:*

*(a) whether the premises will be located on land that adjoins, is directly opposite or is separated only by a local road from land:*

*(i) in Zone R1 General Residential, Zone R5 Large Lot Residential, Zone RU5 Village or Zone RE1 Public Recreation, or*

*(ii) used for the purposes of a child care centre, a community facility, a school or a place of public worship,*

*(b) the impact of the proposed development and its hours of operation on any place likely to be regularly frequented by children:*

*(i) that adjoins the development, or*

*(ii) that can be viewed from the development, or*

*(iii) from which a person can view the development.*

Oddly, nowhere in the application does the applicant address this clause. It is crucial that the applicant address this clause as the subject site directly adjoins a “place regularly frequented by children” (Melissa’s Dance Studio). The applicant needs to address the potential impacts the brothel would have on the dance studio which would have best been accomplished in a Social Impact Assessment written by a suitably qualified person. The applicant has submitted a (so called) Social Impact Assessment without the name of the author and lacking any analysis of the potential impacts the brothel could have on adjoining sensitive land uses frequented by children as directed in the Griffith LEP 2014. Subsequently, no mitigation measures to reduce or minimise the impact of the brothel on the dance studio have been proposed. As the applicant has not addressed clause 7.11 in any manner, Council should refuse the application.

Other issues with the application

- *Views from development to sensitive land uses*
  - The brothel can be directly viewed from the dance studio as evident in the figure provided above. Patrons and sex workers will be visible from the children entering and exiting the dance studio as well as mothers and fathers picking up their children. In no way has the layout and siting of the brothel addressed this. Actually the applicant has placed the brothel in the one location on the large and empty site which can be viewed by the patrons of the dance studio and the other industrial buildings on the adjacent site. Children of an impressionable age will be confronted

on a daily basis with mature themes visible from a place which children's endeavours are meant to flourish. This is a direct and impactful conflict that should have been considered by the applicant. I would suggest that parents will be less likely to bring their children to the studio because of these direct views which will entail a direct economic impact on the neighbouring site.

- *Layout*
  - The design of the brothel is very poor. It appears that the designer has attached three transportable units together to reduce start up costs. There are several issues with the design and construction materials proposed including, there is no mention of the acoustic performance of the walls provided by the applicant. The walls are to be constructed on colourbond with minimal insulation which will do very little to minimise noise which could be heard from adjoining sensitive land uses. The window of the eastern bedroom suite directly faces the adjacent premises which goes against Council's Restricted Premises and Brothels policy which states "no internal rooms of the restricted premises or brothel...are to be visible from an adjoining premises". The layout provides little opportunity for security measures to be implemented as well. Induction and security checks will have to take place within the work rooms as there is no waiting room or induction room proposed. The applicant suggests a security person will be on site at all times, however, the layout does not require a security induction in a waiting room. Patrons can attend the work rooms directly. Also, there is no entrance for Council staff, Health Officers and the Police that need to carry out random inspections of the premises other than directly into the work rooms. It appears that little thought has been given to the effective functioning of the brothel and the safety of workers in the design of the brothel.
- *Use as a dwelling*
  - The brothel is proposed to be used 24 hours a day 7 days a week. All of the necessary elements exist within the proposed structure for it to be used as a dwelling including a kitchen, laundry and bathroom. It will be extremely difficult for Council to ensure that a worker is not actually living in the premises or that if the brothel fails, it will be converted and used as a dwelling. Of course a condition can be placed on the consent which states the premises cannot be used for habitation, however, this condition would be very difficult to enforce. The hours of operation would need to be restricted to ensure the brothel is not also used as a dwelling for the workers.
- *Location near other approved Brothels*
  - The proposed brothel is located 90 metres walking distance (driveway to driveway) from the brothel at 8 Hams street approved by the Land and Environment Court under DA 62/2010. Although the brothel is not operating it has approval to open any time subject to conditions. This would mean that two brothels would be located within the same street and less than 100 metres from one another. This is in direct conflict with Council's Restricted Premises and Brothels Policy which does not permit 2 brothels to be located within 200 metres walking distance from one another. Clause 7.11 on the Griffith LEP also has the objective of providing a reasonable separation between brothels. I don't think locating the two brothels within the same street in a City of 28,000 people constitutes reasonable separation. Has the applicant commented on this in the applicant? Again and rather conveniently, no they haven't.

Only a few of the glaring issues with this application have been identified above. It appears that it has been muddled together using information from a previous brothel application on Hams Street

and the applicant proposes a building design, location and layout which lacks security measures and is sited with no cause for concern adjacent to a thriving dance studio with over 300 children attending the site each week. The applicant has purposely avoided addressing these glaring issues in a manner which seems to exude little respect for the public, Councillors and their potential neighbours intelligence.

Sincerely,



Val Salvestro



Peter Salvestro

# NOYCE SALMON & D'AQUINO

WITH OLLIFFE & M<sup>C</sup>RAE  
SOLICITORS & CONVEYANCERS  
BUSINESS & PROPERTY LAWYERS

**Partners**

John Eades  
Tony Del Gigante  
Vicki Wade  
Nick Wordsworth

Level 1, 136-140 Yambil Street  
Griffith NSW 2680

ABN: 97 828 621 939

PO Box 1022

DX 5902 Griffith

Facsimile: (02) 6962 7237

Email: nsd@nsdlegal.com.au

Telephone: (02) 6969 0000

**Associate**

Lindy Jolley  
Jomandie van der Merwe

13 March 2015

The General Manager  
Griffith City Council  
PO Box 485  
GRIFFITH NSW 2680



Our Ref: **VW:MG.34363**

Your Ref:

Dear Sir/Madam

**Objections to DA No 19/2015(1)  
Proposed Brothel – Hams Street, Griffith**

We act for Griffith Recycling Pty Ltd, a business operating from land adjacent to the proposed brothel in Hams Street, Griffith.

Annexed hereto is our client's objection to the development.

The objections are twofold:-

1. social impact; and
2. adverse possession/ equitable easement.

The enclosed document includes contact details therein.

Yours truly  
NOYCE, SALMON & D'AQUINO  
Per:

A handwritten signature in black ink, appearing to read "Vicki Wade".

OBJECTION

BY GRIFFITH RECYCLING PTY LTD

TO DEVELOPMENT OF BROTHEL

**DA NO. 19/2015(1)**

**ADDRESS:**

Part Lot 1 DP 1071858  
36-38 Collier Street  
GRIFFITH NSW 2680

APPLICANT

Griffith Escort Girls Pty Ltd

OBJECTOR

Griffith Recycling Pty Ltd

ACN: 114 713 834

GRIFFITH RECYCLING PTY LTD

ACN: 114 713 834

Principal Place of Business: 11 Hams Street GRIFFITH NSW 2680

DIRECTORS

Mr Michael Andrew Rowley  
21 Binya Street GRIFFITH NSW 2680

Mr John Edward Rowley  
11 Hams Street GRIFFITH NSW 2680

SECRETARY

Mr Michael Andrew Rowley  
21 Binya Street GRIFFITH NSW 2680

All Contact in relation to this matter should be directed to Mr Michael Andrew Rowley –  
Telephone: 0409 627 552

## OBJECTION 1

### 1. Social Impact:-

- (a) The access to the proposed brothel is on a road which the community access on a daily basis to drop off recycling items.

Often, children are with adults when dropping off recycling items.

Recycling efforts assist this community including Council's recycling policy and the location is well known to the community for recycling purposes.

- (b) The proposed brothel is some 200 metres away from a dance studio and a drama studio and other locations where children attend.

It is noted that the Social Impact Assessment (SIA) lodged by the proponent of the brothel draws attention to the local area population characteristics saying that there are few residences in the area and particularly the illustrating of one parent families with dependent children being some distance from the proposed site.

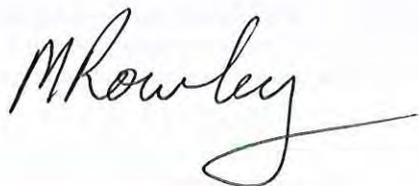
It states that the area is fundamentally industrial.

It fails to draw attention to the type of activities which take place in the area such as activities that young people, significantly children, attend.

We reject out of hand categorically Clause 4.3 of the SIA which says "... the proposed use of the site as a brothel will not expose that use to any sensitive groups in the community...". Sensitive groups are children and children regularly attend the Recycling Depot to drop off family recycling products and attend the area for other activities.

The SIA state that the closest schools are approximately 0.8 kilometres and 0.6 kilometres away. However, there is no mention of the children attending the area for other activities.

Therefore, Objection 1 is on the basis that children, a sensitive group within the community to be considered, will have regular access to the area.



## OBJECTION 2

### 2. Easement for Access.

The introductory statement of the SIA says "... a portion of sealed road way that appears to be a cul-de-sac is located at the far eastern end of the site. This roadway forms part of the site and is not a Council road even though it used to be used by people dropping off goods to be recycled at the business that operated from lot 2 in deposited plan 1071858..."

This is grossly incorrect.

The site of the recycling is still used and used regularly by people dropping off goods to be recycled as a recycling business still continues to operate from the site.

The location of the road and the access to the railway line needs proper investigation by Council. This land was formerly Crown Land, the road was developed by Council, it is curbed and guttered by Council and a fire hydrant is located on the road.

Our investigations indicate that the land was initially Crown Land, namely Lot 2123/720467. Annexed hereto and marked "A" is a copy is a plan and historical search of Lot 2123/720467.

The historical search of the said Lot 2123/720467 shows that it was subdivided around 2004 into the existing DP1071858. Annexed hereto and marked "B" is a plan and historical search of DP1071858.

Neither historical searches show how the land was transferred the Crown nor are we able to ascertain how the transfer from the Crown to the first registered proprietor of the land occurred.

We are able to say that the land on which the Recycling Business is operating was also formerly Crown Land, namely Lot 1375/75109. An historical search shows that this land was transferred from The Council of the City of Griffith on 27 July 1990 to AR and E M Rowley, whose family continue to operate the recycling business. *Annexed at 'C'*

The recycling business which operates from lot 2 has operated from the site 25 years and has used the road for access for itself and the community for all of that time.

Accordingly, we claim adverse possession over the road area. In the event that the adverse possession may be destroyed, an enforceable interest in the land such as an easement will not be destroyed.

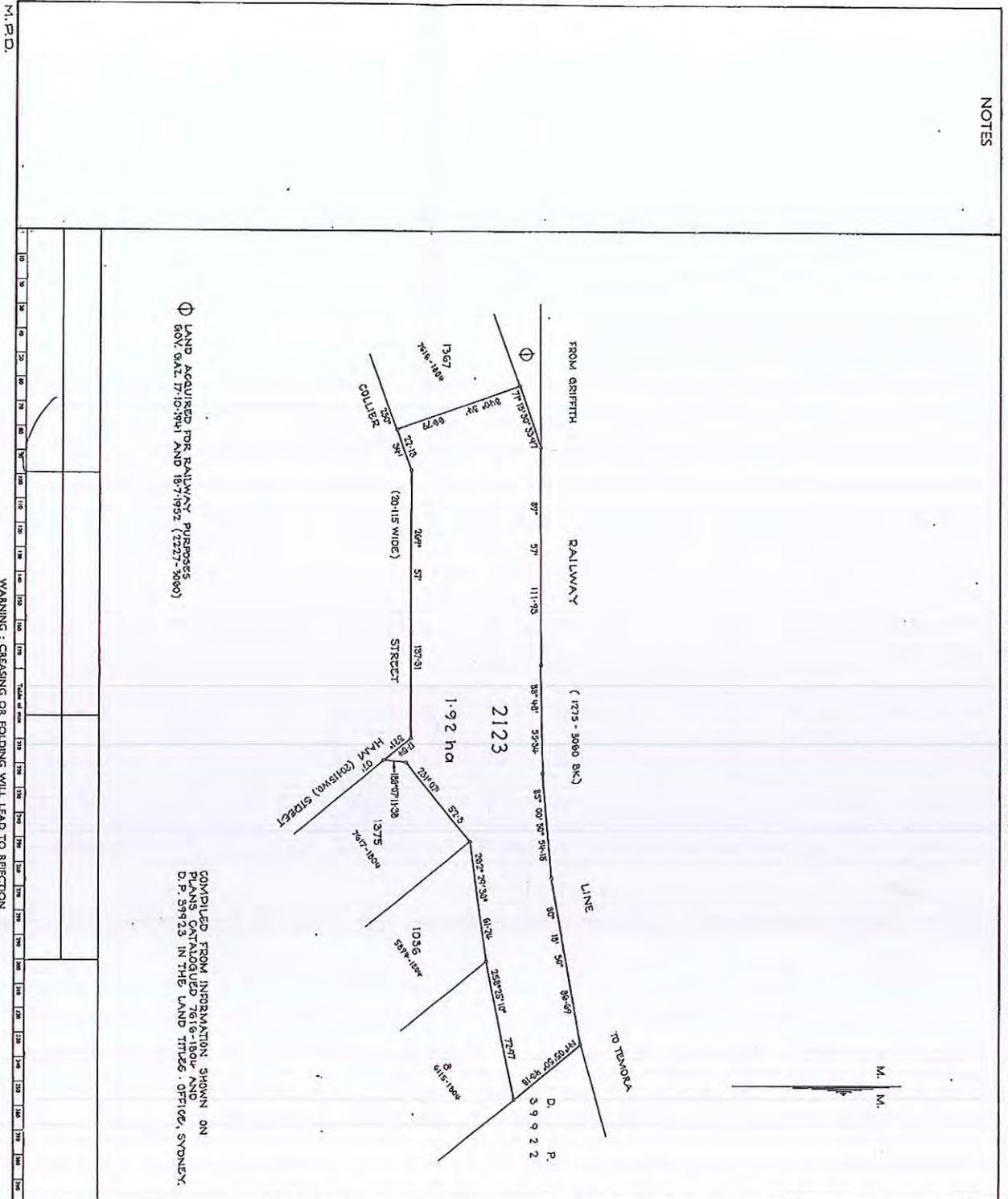
The recycling efforts are very much part of community and Council's recycling policy. The road is also used to access the back of lot 2.

In respect of Objection 2, provided the proponent of the brothel or the land holder of the proposed subdivision include an easement for access to the eastern end of lot 2 in DP 1071858 being the width of the existing road for the benefit of the said Lot 2, <sup>*in Proposed Lot 2*</sup> all costs of the easement to be paid for by the said proponent or said land holder of the land on which the proposed brothel is located, said terms and area of easement to be agreed to by the registered proprietor of Lot 2 DP 1071858 including the right of release of the easement, our second objection will be satisfied.

Objection to DA 19/2015(1)



NOTES



⊕ LAND ACQUIRED FOR RAILWAY PURPOSES  
 GOV. SAT. DT: 10/1941 AND 18/7/1952 (2227-3060)

COMPILED FROM INFORMATION SHOWN ON  
 PLANS CATALOGUED 7616-1804 AND  
 D.P. 39923 IN THE LAND TITLES OFFICE, SYDNEY.

WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

This negative is a photograph made as a permanent record of a document in the custody of the Registrar General this day, 21st May, 1986.

OFFICE USE ONLY

D	D.P. 720467
I	Registered:  # 20-5-1986
N	C.A.:
I	Title System: CROWN LAND
O	Purpose: CROWN TITLE
C	Issue
N	Ref. Map: K1000-5
	Lat. Plan: D.P. 39923 (P1)
	PLAN OF CONSOLIDATION OF PORTIONS 1368 TO 1374 AND LOT 1841 D.P. 39923
	REDUCTION RATIO 1:1250
	LENGTHS ARE IN METRES
	REGD. / SHIRE: GRIFFITH
	LAND DISTRICT: MIRRROOL
	LOCALITY: GRIFFITH
	PARISH: JONDARYAN
	COUNTY: COOPER
	THIS SHEET IS ONE OF SEVEN SHEETS (DELETE IF INAPPLICABLE)
	<small>I certify that the above is a true and correct copy of the original plan as deposited in the office of the Registrar General, Sydney, New South Wales, on the 21st day of May, 1986, in accordance with the Survey Act, 1923 and the public requirements of the Department of Land and Survey Management, New South Wales.</small>
	<small>Signature required under the Survey Act, 1923</small>
	<small>Title reference (1) or (2) + sheet date if any</small>
	<small>APPLICANT TAKEN FROM</small>
	<small>FIELD BOOK</small>
	<small>PLAN APPROVED</small>
	<small>Authorised Officer</small>

(A)



Searchlink hereby certifies that the information contained in this document has been provided electronically by the Registrar General.

Information provided through Tri-Search an approved LPI/NSW Information Broker

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

12/3/2015 3:42PM

FOLIO: 2123/720467

First Title(s): 2123/720467
Prior Title(s): CROWN LAND

Table with 4 columns: Recorded, Number, Type of Instrument, C.T. Issue. Contains three rows of search results.

\*\*\* END OF SEARCH \*\*\*



(B)



Searchlink hereby certifies that the information contained in this document has been provided electronically by the Registrar General.

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LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

12/3/2015 3:37PM

FOLIO: 1/1071858

First Title(s): 2123/720467

Prior Title(s): 2123/720467

Recorded	Number	Type of Instrument	C.T. Issue
5/11/2004	DP1071858	DEPOSITED PLAN	FOLIO CREATED EDITION 1
14/7/2007	AD270564	DISCHARGE OF MORTGAGE	
14/7/2007	AD270565	TRANSFER	
14/7/2007	AD270566	MORTGAGE	EDITION 2
30/5/2013	AH629062	TRANSFER GRANTING EASEMENT	EDITION 3

\*\*\* END OF SEARCH \*\*\*

HP 13  
1985

STAMP DUTY



2  
172682

171-08

**TRANSFER**

REAL PROPERTY ACT, 1900

CB	1 of 2	X
\$	47	

R1/2

DESCRIPTION OF LAND  
Note (a)

Torrens Title Reference	If Part Only, Delete Whole and Give Details	Location
Identifier 1375/751709	WHOLE	Griffith
Identifier 1376/751709	WHOLE	Griffith

TRANSFEROR  
Note (b)

THE COUNCIL OF THE CITY OF GRIFFITH

ESTATE  
Note (c)

(the abovenamed TRANSFEROR) hereby acknowledges receipt of the consideration of \$ 40,000.00 and transfers an estate in fee simple in the land above described to the TRANSFEREE

TRANSFEREE  
Note (d)

ANDREW RUSSELL ROWLEY of Farm 867, Overs Road, Griffith, Technician, and ELIZABETH MARY ROWLEY, his wife (Postal address: P.O. Box 702, Griffith).

OFFICE USE ONLY

*JT2*

TENANCY  
Note (e)

as joint tenants/~~tenants in common~~

PRIOR ENCUMBRANCES  
Note (f)

subject to the following PRIOR ENCUMBRANCES 1. Nil.

2. 3.

DATE 27th July, 1990

\$1.00

We hereby certify this dealing to be correct for the purposes of the Real Property Act, 1900.

EXECUTION  
Note (g)

Signed in my presence by the transferor who is personally known to me

GIVEN UNDER THE COMMON SEAL of the )  
 COUNCIL OF THE CITY OF GRIFFITH on )  
 the 20th day of June 1990 ) Mayor  
 in pursuance of a resolution of the )  
 Council authorising the said seal )  
 to be so affixed passed on the 29th )  
 day of March 1990. ) Town Clerk

*[Signature]*  
Mayor  
*[Signature]*  
Town Clerk

Note (g)

Signed in my presence by the transferee who is personally known to me

*[Signature]*  
Signature of Witness

L. DAQUINO

93 YAMBIE ST., GRIFFITH.

SOLICITOR

*[Signature]*  
Signature of Transferee

TO BE COMPLETED BY LODGING PARTY  
Notes (h) and (i)

LODGED BY		LOCATION OF DOCUMENTS	
REED HANIGAN & TURNER LAW STATIONERS 60-70 ELIZABETH ST., SYDNEY 2000 DX, 452 SYDNEY, PH: 232 1468 39U Delivery Box Number		CT / OTHER <i>[Signature]</i>	Herewith. In L.T.O. with Produced by
Checked	Passed	REGISTERED	Secondary Directlons
<i>[Signature]</i>		- 19	
Signed	Extra Fee		Delivery Directlons

OFFICE USE ONLY

*[Signature]* Minister consents sighted

6'



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Information provided through Tri-Search an approved LPINSH Information Broker

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - HISTORICAL SEARCH

SEARCH DATE

12/3/2015 3:33PM

FOLIO: 1375/751709

First Title(s): 1375/751709  
 Prior Title(s): CROWN LAND

Recorded	Number	Type of Instrument	C.T. Issue
29/9/1987	FI603999	FOLIO INSTRUCTION	FOLIO CREATED EDITION 1
17/8/1990	Z172682	TRANSFER	
17/8/1990	Z172683	MORTGAGE	EDITION 2
17/12/1991	E132650	CAVEAT	
19/8/1993	I566506	DISCHARGE OF MORTGAGE	EDITION 3
6/6/1997	3115927	APPLN REMOVE CROWN RESTRICTN	
11/6/1997	DP869007	DEPOSITED PLAN	FOLIO CANCELLED

\*\*\* END OF SEARCH \*\*\*

8 April 2015

Your Ref:  
Our Ref: AR:DM:2903



ATTN: Steven Parisotto  
Griffith City Council  
1 Benerambah Street  
GRIFFITH NSW 2680

REPLY TO GRIFFITH

Dear Sir/Madam,

**RE: DEVELOPMENT APPLICATION 19/2015 FOR ESTABLISHMENT OF BROTHEL AT  
36-38 COLLIER STREET, GRIFFITH**

We refer to Development Application 19/2015 (the "DA") and advise that we act on behalf of objectors Benscrape Pty Ltd and Peter and Valda Salvestro.

We note that our clients have lodged submissions in objection to the proposed DA. We would be grateful if further correspondence in relation to the objections could be directed to our office. Further, we would ask in particular that we receive notice of the Council's intended deliberation on the DA in the hope that we or our Counsel briefed in the matter might be given an opportunity to address the assembled Council.

In addition to submissions to Council made previously by our clients, we wish to submit further reasons to Council for rejecting the DA.

Inspections of the plans for the DA reveal numerous issues with respect to both safety and Council policy which are evident from the design of the proposed brothel. These issues are described as follows:

- (i) The use of the entire building (appearing to comprise of 3 transportable buildings) for the purpose of a brothel cannot be done discretely;
- (ii) The only entries into the brothel go straight into either of the 2 Bedroom Suites, with no internal lobby or waiting space. This leaves clients exposed in the car park which is visible from neighbouring properties (only a chainwire fence is proposed between the subject land and Lot 2 DP 1071858);
- (iii) It is unclear whether the Day Room Suite is to be a working room or a private space for workers at the brothel. Regardless thereof, its access and egress is through the 2

Bedroom Suites and is therefore dependent on them not being used. This is inappropriate and potentially dangerous;

- (iv) The Day Room Suite is so designed as to be capable of being used as a dwelling, without separate access. This is potentially in breach of Griffith City Council's Restricted Premises & Brothels Policy which provides that no part of a restricted premises, brothel, or the building in which it is situated, will be used as a dwelling unless separate access will be available to the dwelling;
- (v) No private bathroom facility for the workers are proposed;
- (vi) No storage facility for equipment (relevantly bedlinen and towels), and no laundry facility are proposed;
- (vii) The number of car parking spaces is disproportionate to the intensity of the proposed use (of 2 or 3 working rooms). Furthermore, the plan does not provide for any separation between car parking for clients and car parking for staff, which may put the staff or their vehicles at risk.

Furthermore, it is noted that at 27 Collier Street a costume hire business trading as "Fancy Pants" is carried on. We are not aware if the existence or implications of this business have been brought to the Council's attention.

This business is in the immediate vicinity of the driveway entrance to the proposed premises and is some 100 metres walking distance from the proposed premises themselves. It is apparent from this business's signage and stock that it caters to children and young persons.

It is therefore a "place likely to be visited by children for recreational or other pursuits". The proposed development is therefore prohibited by the Council's Restricted Premises & Brothels Policy which requires that no part of a brothel is to be located within 200 metres walking distance of any such place.

We thank the Council for considering our clients' further submissions and look forward to receiving advice of the Council's impending determination in due course.

Yours faithfully  
**CAPPELLO ROWE**

Per:

*Cappello Rowe*

**Andrew Rowe**

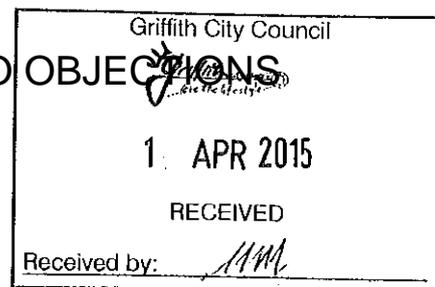
Solicitor

E: [andrew.rowe@cappellorowe.com.au](mailto:andrew.rowe@cappellorowe.com.au)

# ATTACHMENT 'E' - APPLICANT'S RESPONSE TO OBJECTIONS

26<sup>th</sup> March 2015

Mr Steven Parisotto  
Senior Development Assessment Planner  
Griffith City Council  
1 Benerembah Street  
Griffith NSW 2680



Dear Mr Parisotto,

## Development Application No.19/2015 objections

Thank you for providing the landowner with copies of the objections that Council has received regarding our proposal. We have reviewed the objections and anticipated most of the concerns that have been raised. Whilst we appreciate the objectors' concerns regarding safety, potential decrease in land value, street appearance and ensuring that children cannot see or mistakenly access the premises, we believe that the proposal complies with the requirements of Council's restricted premises and brothels policy and will not detrimentally impact upon the immediate locality.

One of the letters mentioned that the driveway that will service our premises is used to drop-off recycling materials. We have been advised by the landowner that this portion of what looks like a former roadway forms part of our site and that Council has previously approved plans to install kerb & guttering along to block off this roadway.

Another letter raised concern with the fact that our site adjoins land that is occupied by a dance studio, within 90m of another brothel and questioned why our Statement of Environmental Effects did not address clause 7.11 of the Griffith Local Environmental Plan 2014. We are aware that a dance studio is located at the far end of an adjoining allotment that fronts Whybrow Street. Despite the dance studio being located at the far end of the adjoining site, the erection of a fence along our site's southern and eastern boundaries will restrict access & views of our premises from the adjoining site. Despite the dance studio being located within 200m of our premises, I have been advised that this measurement is not supposed to be interpreted as a straight line or 'as the crow flies'. This separation of 200m should be measured along the most direct and lawful route such as walking or driving between the two sites via Whybrow Street and Hams Street. I reject the objector's position that our Development Application should be rejected because an assessment of clause 7.11 of the Griffith Local Environmental Plan was not provided in our Statement of Environmental Effects because this clause is required to be taken into consideration by Council when determining the Development Application and is not required to be addressed by the applicant. With regard to the objector's concern that our premises will be located within close proximity of the approved brothel at 8 Ham Street, Council's I understand that brothel at 8 Hams Street has been approved but is not operating, which Council's restricted premises and brothels policy stipulates in order to require a separation of 200m.

Yours sincerely,

D Trimboli  
Griffith Escort Girls Pty Ltd